

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MARCH 9, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = RED

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the February 9, 2021 and February 23, 2021 Planning and Zoning Commission meetings.
- (3) **P2021-004 (HENRY LEE)**
Discuss and consider a request by Dewayne Cain of EVSR (D), LLC for the approval of a Final Plat for Lots 1 & 2, Block A, DC Addition being a 22.27-acre tract of land identified as Tracts 2 & 2-4of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 777 Cornelius Road, and take any action necessary.
- (4) **P2021-005 (HENRY LEE)**
Discuss and consider a request by Bryan Connally of CBG Surveying Texas, LLC on behalf Helen Comeav Neller for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Neller Addition being an 11.368-acre parcel of land identified as Lot 7, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 4.0 (SFE-4.0) District, addressed as 2380 FM-549, and take any action necessary.
- (5) **P2021-007 (DAVID GONZALES)**
Discuss and consider a request by Danielle Porten of REP Investments, LLC for the approval of a Preliminary Plat for Lots 1-5, Block A and Lot 1, Block X, Blackland Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No. 223, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

- (6) **Z2021-002 (DAVID GONZALES)**
Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for Self Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

(7) **Z2021-003 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

(8) **Z2021-004 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Juan Maldonado for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 890, Block E, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 418 Perch Road, and take any action necessary.

(9) **Z2021-005 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorborg Company on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses on a 37.844-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(10) **SP2021-002 (DAVID GONZALES)**

Discuss and consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Bill Lofland of Smartt Lofland & J Bond Partners for the approval of a Site Plan for a Warehouse/Distribution Center on a 71.022-acre tract of land identified as Tract 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard, and take any action necessary.

(11) **SP2021-003 (HENRY LEE)**

Discuss and consider a request by Rolando R. Leal of Good Cluck, LLC on behalf of Charles Corson of CCP LJS Rockwall LP for the approval of an Amended Site Plan for a Restaurant with Drive Through/Drive-In on a 0.448-acre tract of land identified as a portion of Lot 1 of the I-30 740 West Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 2608 Ridge Road [FM-740], and take any action necessary.

(VII) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(12) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-001: Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition (APPROVED)
- P2021-006: Replat for Lots 4 & 5, MTA Andrews Addition (APPROVED)
- P2021-008: Replat for Lot 1, Block A, BLPB-Mims Addition (APPROVED)
- Z2021-001: SUP for a Residential Infill in an Established Subdivision at 2825 Marcie Lane (APPROVED; 1ST READING)
- Z2020-056: SUP for a Self-Service Car Wash and Auto Detail at 3611 N. Goliad Street (REMANDED BACK TO P&Z)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 5, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 9, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric
5 Thomas, and Dr. Jean Conway. Absent from the meeting were Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present
6 were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning
7 Coordinator Angelica Gamez, City Engineer Amy Williams and Civil Engineers Sarah Johnston and Jeremy White.
8

9 II. OPEN FORUM
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time.
12

13 Clovis Sanford
14 2854 Marcie Lane
15 Rockwall, TX 75087
16

17 Mr. Sanford came forward and expressed his opposition to case Z2021-001.
18

19 Chairman Chodun asked if anyone else wished to speak; there being no one coming forward, Chairman Chodun closed the open forum.
20

21 III. CONSENT AGENDA
22

23 1. Approval of Minutes for the January 26, 2021 Planning and Zoning Commission meeting.
24

25 2. **P2021-001 (DAVID GONZALES)**

26 Discuss and consider a request by Bill Thomas of Engineering Concepts and Design, LP on behalf of Joshua Swiercinsky of 7.1 Ridge, LLC for
27 the approval of a Preliminary Plat for Lots 1-7, Block A, Sky Ridge Addition being a 8.583-acre parcel of land identified as Lot 1, Block A, Sky
28 Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District,
29 generally located west of the intersection of Ridge Road [FM-740] and W. Yellow Jacket Lane, and take any action necessary.
30

31 **Commissioner Thomas made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by
32 a vote of 5-0 with Commissioners Welch and Moeller absent.**
33

34 IV. PUBLIC HEARING ITEMS
35

36 3. **Z2021-001 (HENRY LEE)**

37 Hold a public hearing to discuss and consider a request by Otoniel Jaramillo for the approval of a Specific Use Permit (SUP) for Residential Infill
38 in an Established Subdivision on a 0.50-acre parcel of land identified as Lot 17, Block B, Lago Vista Addition, City of Rockwall, Rockwall County,
39 Texas, zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses, addressed as 2825 Marcie Lane, and
40 take any action necessary.
41

42 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a Specific Use
43 Permit for the purpose of constructing of a single-family home. The home is architecturally compatible with the surrounding homes.
44 The applicant's request meets all of the density and dimensional requirements and will not require any variances. Approval of this
45 request is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission. On
46 January 22, 2021, 59 notices were sent out to property owners and occupants within 500-feet of the subject property. Notice was also
47 given to any homeowner associations within 1500-feet of the subject property.
48

49 Chairman Chodun asked the applicant to come forward.
50

51 Otoniel Jaramillo
52 2825 Marcie Lane
53 Rockwall, TX 75087
54

55 The applicant came forward and indicated he was ready to build.
56

57 Chairman Chodun opened the public hearing and asked anybody who wished to speak to come forward at this time. There being no
58 one; Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion and/or action.
59

60 Commissioner Womble made a motion to approve item Z2021-001. Commissioner Deckard seconded the motion which passed by a
61 vote of 5-0.
62

63 Chairman Chodun advised that this case will go before the City Council on February 16, 2021.
64

65 4. **Z2021-002 (DAVID GONZALES)**

66 Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall
67 205-552, LLC for the approval of a *Specific Use Permit (SUP)* for *Self Service Car Wash and Auto Detail* on a 0.89-acre tract of land identified
68 as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated
69 within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.
70

71 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is requesting
72 approval of a Specific Use Permit for the purpose of constructing a Self Service Car Wash and Auto Detail. It does consist of a single
73 entrance tunnel and fifteen (15) vacuum stalls along with ten (10) parking spaces. According to the Unified Development Code (UDC),
74 car washes are not to face any public right-of-way making this request non-compliant with the UDC. The UDC also requires a fifty (50)
75 foot setback from the property line which the request does meet the requirement. Staff would like to point out that the car wash is
76 located within 300-feet of the Harlan Park subdivision as well as the Nebbie Williams School. Staff is requesting that the applicant add
77 some additional landscaping to the north side as well as the west side of the property to provide additional sound attenuation. This
78 has been included in the draft ordinance as an operational condition should the request be approved. Residential adjacency
79 standards apply to properties that are 150-feet from a residential district. In this case, the applicant did replat the property in order to
80 avoid meeting the 150-foot distance. The applicant did provide a noise assessment for the Commissioners. With this being said,
81 revisions of any landscaping for sound attenuation is a discretionary decision for the Planning and Zoning Commission as well as
82 City Council. Mr. Gonzales added that the building elevations provided do not meet the minimum standards for the North Goliad
83 Overlay District but those would be reviewed by the Architectural Review Board (ARB) and Planning and Zoning Commission during
84 the site plan process. On January 22, 2021, 40 notices were sent out to property owners and occupants within 500-feet of the subject
85 property as well as notifying all homeowner associations within 1500-feet of the subject property. Mr. Gonzales then advised the
86 Commission that the applicant and Staff were present and ready to answer questions.
87

88 Chairman Chodun asked how many notices had been mailed out.
89

90 Commissioner Deckard asked if an auto parts store or regular retail store would require any changes to the zoning or would that go in
91 by right.
92

93 Commissioner Womble asked if the school next door had weighed in on the noise issue this item could provide.
94

95 Commissioner Conway asked if there were opening and closing hours or if it was a 24-hour business. She also asked if the
96 Commission could require landscaping.
97

98 Chairman Chodun asked the applicant to come forward.
99

100 Cesar Segovia
101 4603 Opal Ridge Lane
102 Arlington, TX 76005
103

104 Mr. Segovia came forward and provided additional details in regards to his request. He expressed that the hours of operation would
105 be Monday thru Saturday from 7am-7pm and Sundays from 7am-6pm. He added that there was no auto detailing taking place on site
106 as there would only be 2-3 employees working at a time. They also stated that they would be willing to screen along the residential
107 side area to help with sound.
108

109 Commissioner Thomas asked what the tasks of the employees working onsite would be.
110

111 Chairman Chodun opened the public hearing and asked anybody who wished to speak to come forward at this time.
112

113 Bob Wacker
114 309 Featherstone
115 Rockwall, TX 75087
116

117 Mr. Wacker came forward and expressed his being in favor of the request.
118

119 Commissioner Womble asked Mr. Womble about the noise meter when the vacuums were on.
120

121 Dennis Dayman
122 519 Cellars Court
123 Rockwall, TX 75087
124

125 Mr. Dayman came forward and stated his concerns about the buffering holding up. He expressed his opposition to the request.
126

127 Chairman Chodun asked if there were any commercial areas available up in North Rockwall.
128

129 Director of Planning and Zoning Ryan Miller answered that there was not a lot of Commercial zoning but there was a lot of General
130 Retail because of all the residential areas up north. General Retail is a more restrictive zoning classification which gives the Planning
131 and Zoning Commission the ability to look at certain uses on a case by case basis. They would be able to look if they meet the
132 residential adjacency standards, if they're appropriate for that area, and if they're appropriate in the context of what that development
133 is being proposed.
134

135 Steve Curtis
136 2130 FM 1141
137 Rockwall, TX 75087

138
139 Mr. Curtis came forward and expressed his opposition to the parking spaces in the project. He asked why additional landscaping
140 could not be put in in place of the parking spaces.

141
142 Chairman Chodun asked if anyone else wished to speak. There being no one doing such, Chairman Chodun closed the public hearing
143 and brought the item back to the Commission for discussion or action.

144
145 Commissioner Womble asked if the applicant was required to have the parking or if it was more of a use need. The applicant
146 answered that that was a requirement by the seller in the cross axis agreement.

147
148 The applicants came forward once again to answer comments or concerns made by the public.

149
150 Lisa White
151 6300 South Syracuse Way, Suite 205
152 Centennial, Co 80111

153
154 Ms. White came forward and gave further explanation in regards to the vending machine placement and their products.

155
156 Mr. Miller explained that the applicants would be unable to provide screening for the front tunnel due to the existing easements on the
157 property. Should the Planning and Zoning Commission approve the request, they would have to motion to strike the landscaping
158 requirement from the ordinance.

159
160 Commissioner Deckard asked if there was a time frame for the O'Reillys coming in or submitting to construct in the open lot next to
161 the proposed car wash.

162
163 Commissioner Womble asked if this amount of vacuum bays was required.

164
165 Commissioner Thomas asked how many cars were anticipated for the number of bays shown in the request.

166
167 After some discussion, Commissioner Deckard made a motion to approve Z2021-002 subject to the conditions of approval and the
168 following additional recommendations: (1) A masonry screening wall a minimum of six (6) feet in height be constructed adjacent to
169 the northern property line of the subject property and (2) Three tiered screening be incorporated in front of the carwash to screen the
170 tunnel and vacuum bays adjacent to the eastern property line of the subject property. Chairman Chodun seconded the motion which
171 passed by a vote of 5-0.

172
173 Chairman Chodun advised that this case will go before the City Council on February 16, 2021.

174
175 5. **Z2021-003 (DAVID GONZALES) [REQUEST TO POSTPONE TO MARCH 9, 2021]**

176 Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit
177 (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall,
178 Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

179
180 Chairman Chodun announced the applicant for case Z2021-003 has requested to postpone the case until March 9, 2021.

181
182 V. DISCUSSION ITEMS

183
184 6. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 185
186
 - P2020-052: Replat for Lots 2, 3, & 4, Block A, North Lakeshore Daycare Addition [APPROVED]
 - P2021-002: Replat for Lot 7, Block C, Ellis Center, Phase 2 Addition [APPROVED]
 - P2021-003: Final Plat for Lot 1, Block A, R. S. Loffland Subdivision [APPROVED]
 - Z2020-055: SUP for a General Retail Store at 505 N. Goliad Street [APPROVED; 2ND READING]
 - Z2020-056: Zoning Change of NS & SF-16 to PD for SF-10 for Nelson Lake [APPROVED; 2ND READING]
 - Z2020-057: Zoning Change of SF-10 & PD-41 for SF-10 to PD-41 for GR for 1940 N. Lakeshore Drive [APPROVED; 2ND READING]
 - Z2020-058: SUP for an Accessory Structure at 507 N. Clark Street [APPROVED; 2ND READING]
 - Z2020-060: Zoning Change of AG & SFE-2.0 to SFE-1.5 [APPROVED; 2ND READING]

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195 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City
196 Council meeting.

197
198 VI. ADJOURNMENT

199
200 Chairman Chodun adjourned the meeting at 8:23 PM.

201
202 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
203 _____, 2021.

204
205
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207
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214
215

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator

VII. WORK SESSION

7. *Work Session*. A work session for general training purposes will be held in the City Council meeting room immediately following the adjournment of the February 9, 2021 Planning and Zoning Commission meeting (RYAN MILLER).

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 23, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:00 PM. Commissioners present were Derek Deckard, Jean Conway, Mark Moeller,
5 and Vice-Chairman Jerry Welch. Commissioner Sedric Thomas arrived to the meeting at 6:15 PM. Absent from the meeting were
6 Commissioner John Womble. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David
7 Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy Williams and Civil Engineers Sarah
8 Johnston and Jeremy White.
9

10 II. OPEN FORUM
11

12 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
13 no one coming forward, Chairman Chodun closed the open forum.
14

15 III. APPOINTMENTS
16

- 17 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments
18 for items on the agenda requiring architectural review.
19

20 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
21 Architectural Review Board meeting.
22

23 IV. CONSENT AGENDA
24

25 2. **P2021-006 (DAVID GONZALES)**

26 Consider a request by Joseph Hornisher of Kimley-Horn on behalf of Mark Andrews of 2424 MTA Realty, LLC for the approval of a Replat for Lots
27 4 & 5, Block A, MTA Andrews Addition being an 8.6234-acre tract of land identified as Lots 1 & 2, Block A, MTA Andrews Addition, City of Rockwall,
28 Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2424 Ridge Road, and
29 take any action necessary.
30

31 3. **P2021-008 (DAVID GONZALES)**

32 Consider a request by Bryan Connally of CBG Surveying Texas, LLC on behalf of Dr. Mary Courtin of BLBP Property Group for the approval of a
33 Replat for Lot 1, Block A, BLPB-Mims Addition being a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition,
34 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the
35 southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.
36

37 Commissioner Moeller made a motion to approve the consent agenda. Commissioner Conway seconded the motion which passed by a
38 vote of 5-0 with Commissioners Womble and Thomas absent.
39

40 V. ACTION ITEMS
41

42 4. **MIS2021-003 (HENRY LEE)**

43 Discuss and consider a request by James Best for the approval of a Special Exception to the material standards for residential fences to allow a
44 previously constructed masonry screening wall on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall,
45 Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.
46

47 Planner Henry Lee provided a brief summary in regards to the request. On October 27, 2020, The Planning and Zoning Department
48 approved a special exception on a six (6) foot, pre-cast concrete screening wall to be constructed at 54 Shadydale Lane. On December
49 23, 2020, the applicants submitted a fence permit which was issued on December 28, 2020; however, the screening wall that was
50 constructed was actually 8-feet in height which is 2-feet higher than approved. Staff reviewed an exhibit that was turned it with the
51 permit showing the proposed fence was actually 8-feet and the applicant constructed the 8-foot fence. The applicant is now coming
52 back to the Planning and Zoning Commission to request approval of the additional 2-feet to the approved 6-foot fence.
53

54 Chairman Chodun asked if the applicant built the higher fence by error or if it was intentional. Mr. Lee replied that it was indicated to
55 Staff that the fence would be 8-feet tall but the applicant was not present at the meeting to express that.
56

57 Chairman Chodun asked the applicant to come forward.
58

59 Andrew Thomas (on behalf of James Best)
60 422 E. I-30, Suite F
61 Royse City, TX 75189
62

63 Mr. Thomas came forward and provided additional details in regards to the request. He added that there was never an intent to
64 misrepresent the height of the wall to the Commission.

65 Vice-Chairman Welch asked what the ramifications would be if the request were to be denied. Mr. Miller stated that if the request were
66 to be denied then the applicant would have to bring the wall into conformance with the Planning and Zoning Commission's approval.
67 Mr. Welch then asked if the request were to be denied then would it go before the City Council. Mr. Miller answered that the applicant
68 would have the right to appeal to the City Council as they have the right to overturn the Planning and Zoning Commission.
69

70 Commissioner Deckard added that he would be in support of the request.
71

72 Commissioner Deckard made a motion to approve MIS2021-003 with staff recommendations. Chairman Chodun seconded the motion
73 which passed by a vote of 5-0.
74

75
76 VI. DISCUSSION ITEMS
77

78 5. Z2021-004 (HENRY LEE)

79 Hold a public hearing to discuss and consider a request by Juan Maldonado for the approval of a Specific Use Permit (SUP) for Residential Infill
80 in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 890, Block E,
81 Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family
82 7 (SF-7) District land uses, addressed as 418 Perch Road, and take any action necessary.
83

84 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a Specific Use Permit
85 (SUP) for the purpose of constructing a single-family home at 418 Perch Road. With this request, the applicant will need some waivers
86 for the garage orientation as it is not set 20-feet behind.
87

88 Commissioner Conway asked if there was sufficient room to build the project on this lot.
89

90 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.
91

92 6. Z2021-005 (RYAN MILLER)

93 Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Alex Freeman and Mark G. &
94 Jessica K. Taylor for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 16
95 (SF-16) District land uses on a 37.844-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of
96 Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and
97 Clem Road, and take any action necessary.
98

99 Director of Planning and Zoning Ryan Miller advised the Commission that his applicant was present.
100

101 Chairman Chodun asked the applicant to come forward.
102

103 Adam Buczek
104 8214 Westchester Drive, Suite 900
105 Dallas, TX 75225
106

107 Mr. Buczek came forward and provided a PowerPoint presentation in regards to the request.
108

109 Vice-Chairman Welch asked if only j-swing garages would be incorporated and not any 3-car garages.
110

111 Director of Planning and Zoning Ryan Miller added that the proposed property was located in a low-density residential zoned area which
112 is 2-units per acre. In this case, the applicant's request would be in conformance with the future land use plan. It does appear to meet
113 all of the requirements in the Comprehensive Plan as well as the Planned Development (PD) district standards. The only thing that this
114 request does not meet is the landscape buffer adjacent to all roadways. The applicant is proposing to do extra plantings in the rear of
115 the yards in the properties to the South.
116

117 Commissioner Conway added that she would like to see winding roads in the neighborhood.
118

119 Commissioner Thomas would like to see the single story housing or changes in the design.
120

121 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.
122

123 7. P2021-004 (HENRY LEE)

124 Discuss and consider a request by Dewayne Cain of EVSR (D), LLC for the approval of a Final Plat for Lots 1 & 2, Block A, DC Addition being a
125 22.27-acre tract of land identified as Tracts 2 & 2-4of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned
126 Agricultural (AG) District, addressed as 777 Cornelius Road, and take any action necessary.
127

128 Planner Henry Lee indicated that this item is on the agenda due to it having to go before the Parks Board.
129

130 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.
131

132 8. P2021-005 (HENRY LEE)

133 Discuss and consider a request by Bryan Connally of CBG Surveying Texas, LLC on behalf Helen Comeav Neller for the approval of a *Preliminary*
134 *Plat* for Lots 1 & 2, Block A, Neller Addition being an 11.368-acre parcel of land identified as Lot 7, Block 1, Neller Addition, City of Rockwall,
135 Rockwall County, Texas, zoned Single-Family Estates 4.0 (SFE-4.0) District, addressed as 2380 FM-549, and take any action necessary.
136

137 **Planner Henry Lee indicated that this item is on the agenda due to it having to go before the Parks Board.**

138
139 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.**
140

141 **9. P2021-007 (DAVID GONZALES)**

142 Discuss and consider a request by Danielle Porten of REP Investments, LLC for the approval of a *Preliminary Plat* for Lots 1-5, Block A and Lot
143 1, Block X, Blackland Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No.
144 223, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road, and
145 take any action necessary.
146

147 **Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request and added that the property was**
148 **located in the Extraterritorial Jurisdiction (ETJ). Staff wanted to note that the applicant will be required to provide adequate public**
149 **facilities prior to approval of the final plat.**

150
151 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.**
152

153 **10. SP2021-002 (DAVID GONZALES)**

154 Discuss and consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Bill Lofland of Smartt Lofland & J Bond Partners
155 for the approval of a *Site Plan* for a *Warehouse/Distribution Center* a 71.022-acre tract of land identified as Tract 20-1 of the A. Hanna Survey,
156 Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin
157 Road and Industrial Boulevard, and take any action necessary.
158

159 **Planning and Zoning Manager David Gonzales advised that his applicant was present.**

160 **Chairman Chodun asked the applicant to come forward.**

161
162 **Jeff Dolian**
163 **13455 Noel Road, Suite 700**
164 **Dallas, TX 75240**
165
166

167 **Mr. Dolian came forward and provided a brief summary in regards to the request. He added that they met with the Architectural Review**
168 **Board and they were amenable to making the recommendations and changes that they had.**
169

170 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.**
171

172 **11. SP2021-003 (HENRY LEE)**

173 Discuss and consider a request by Rolando R. Leal of Good Cluck, LLC on behalf of Charles Corson of CCP LJS Rockwall LP for the approval of
174 an *Amended Site Plan* for a *Restaurant with Drive Through/Drive-In* on a 0.448-acre tract of land identified as a portion of Lot 1 of the I-30 740
175 West Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and
176 the Scenic Overlay (SOV) District, addressed as 2608 Ridge Road [FM-740], and take any action necessary.
177

178 **Planner Henry Lee advised that his applicant was present.**

179 **Chairman Chodun asked the applicant to come forward.**

180
181 **Rolando Leal**
182 **1207 El Dorado Avenue**
183 **Dallas, TX 75208**
184
185

186 **Mr. Leal came forward and provided a brief summary in regards to his request.**

187
188 **Chairman Chodun asked if they understood the recommendations provided by the Architectural Review Board. Mr. Leal stated that they**
189 **would be flexible and amenable to adjusting the project as necessary.**
190

191 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on March 9, 2021.**
192

193 **12. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).**

194
195 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council**
196 **meeting.**
197

198 **VII. ADJOURNMENT**

199
200 **Chairman Chodun adjourned the meeting at 6:46 PM.**

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202
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211

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
_____, 2021.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Dewayne Cain; *EVSR (D), LLC*
CASE NUMBER: P2021-004; *Final Plat for Lots 1 & 2, Block A, DC Addition*

SUMMARY

Consider a request by Dewayne Cain of EVSR (D), LLC for the approval of a Final Plat for Lots 1 & 2, Block A, DC Addition being a 22.27-acre tract of land identified as Tracts 2 & 2-4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 777 Cornelius Road, and take any action necessary.

PLAT INFORMATION

- ☑ The purpose of this request is to Final Plat a 22.27-acre tract of land (*i.e. Tract 2 & 2-4 of the W. M. Dalton Survey, Abstract No. 72*) into two (2) parcels of land to facilitate the construction of a single-family home on the proposed *Lot 2, Block A*. According to the Rockwall Central Appraisal District (RCAD), currently situated on the tract of land -- *on the area that is designated as Lot 1, Block A on the proposed Final Plat* -- is a 1,104 SF single-family home. As part of the Final Plat, a portion of Cornelius Road is required to be dedicated.
- ☑ The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 3, 2019 City Council approved a Specific Use Permit (SUP) [*Ordinance No. 19-23; Case No. Z2019-010*] allowing for a guest quarters and agricultural accessory building.
- ☑ On March 2, 2021, the Parks and Recreation Board reviewed the Final Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$577.00 (*i.e. \$577.00 x 1 Lot*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$609.00 (*i.e. \$609.00 x 1 Lot*), which will be due prior to the issuance of a building permit.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section below, this Final Plat is in substantial compliance with the requirements of Chapter 38, *Subdivision*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1 & 2, Block A, DC Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this subdivision plat;
- (2) The subdivision of land shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/24/2021

PROJECT NUMBER: P2021-004
PROJECT NAME: Lots 1 & 2, Block A, DC Addition
SITE ADDRESS/LOCATIONS: 777 Cornelius Road

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Consider a request by Dewayne Cain of EVSR (D), LLC for the approval of a Final Plat for Lots 1 & 2, Block A, DC Addition being a 22.27-acre tract of land identified as Tracts 2 & 2-4of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 777 Cornelius Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/17/2021	Approved w/ Comments

02/17/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Final Plat for Lots 1 & 2, Block A, DC Addition being a 22.27-acre tract of land identified as Tracts 2 & 2-4of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and addressed as 777 Cornelius Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 771-7745 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2021-004) in the lower right-hand corner of all pages on future submittals.

M.4 Please change the title block as follows:

Final Plat
Lots 1 & 2, Block A
DC Addition
2 Lots
Being 22.27-Acres of Land or 969,920 SF
Tracts 2 & 2-4 of the W. M. Dalton Survey, Abstract No. 72
City of Rockwall, Rockwall County, Texas

M.5 The Agricultural (AG) District requires a minimum of a 40-foot front yard building setback. Please indicate a 40-foot setback adjacent to Cornelius Road.

M.6 On the vicinity map label the City's corporate boundary line.

M.7 Label the centerline of Cornelius Road.

M.8 Cornelius Road is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway), which requires a minimum right-of-way of 65-feet. Please ensure that the correct amount of right-of-way dedicated (i.e. 32.5-feet from the centerline of the roadway) is depicted on the subdivision plat.

M.9 Indicate the Instrument Number or Volume/Page for the 4.03-acre tract of land south of the subject property.

M.10 Please remove note #7 under the standard plat wording as this is already stated in verbatim in note #4.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 2, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 9, 2021 Planning and Zoning Commission Meeting. The Planning and Zoning Commission Work Session Meeting for this case



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹ Paid 2/12/21 OK # 6782
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 700 & 800 BLOCKS OF CORNELIUS ROAD ROCKWALL, TX. 75027
 SUBDIVISION: LOT BLOCK
 GENERAL LOCATION: ON CORNELIUS ROAD BETWEEN FM 1141 & FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Agriculture	CURRENT USE	Hay Field
PROPOSED ZONING	Residential	PROPOSED USE	HOME CONSTRUCTION
ACREAGE	20 ± Acres	LOTS [CURRENT]	1
		LOTS [PROPOSED]	2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	EVSR (D) LLC (DeWayne Cain)	<input type="checkbox"/> APPLICANT	SAME AS OWNER
CONTACT PERSON	DeWayne Cain	CONTACT PERSON	
ADDRESS	305 Stonebridge Dr.	ADDRESS	
CITY, STATE & ZIP	Rockwall, Tx. 75087	CITY, STATE & ZIP	
PHONE	214-533-8641	PHONE	
E-MAIL	DeWayneCain@evsr.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DeWayne Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 745.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

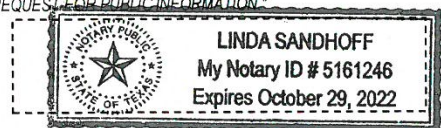
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF February, 2021.

OWNER'S SIGNATURE

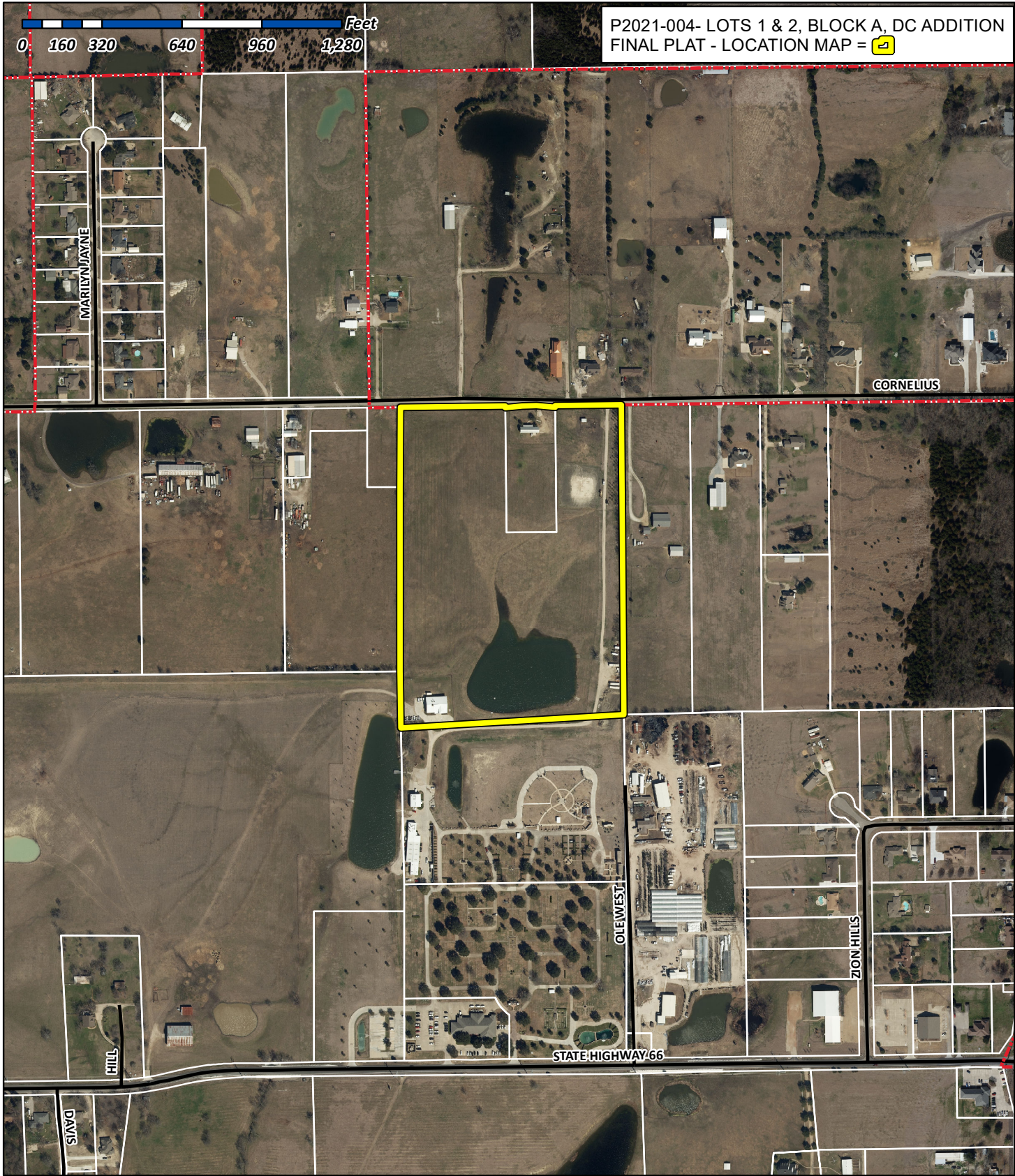
DeWayne Cain

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Linda Sandhoff



MY COMMISSION EXPIRES

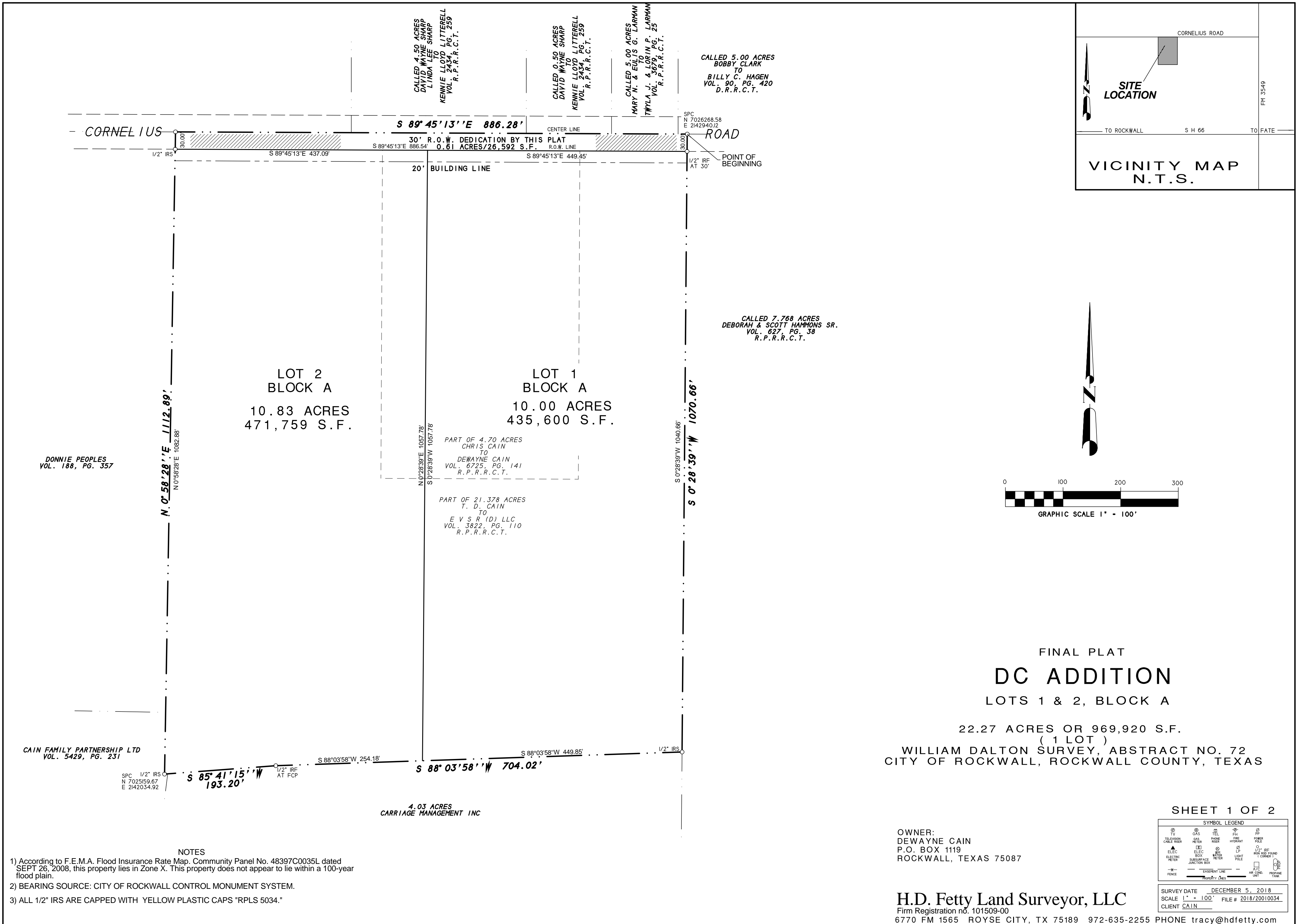


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Bryan Connally; *CBG Surveying Texas, LLC*
CASE NUMBER: P2021-005; *Preliminary Plat for Lots 1 & 2, Block A, Neller Addition*

SUMMARY

Discuss and consider a request by Bryan Connally of CBG Surveying Texas, LLC on behalf Helen Comeav Neller for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Neller Addition being an 11.368-acre parcel of land identified as Lot 7, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 4.0 (SFE-4.0) District, addressed as 2380 FM549, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat an 11.368-acre parcel of land (*i.e. Lot 7, Block 1, Lofland Lake Estates*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Neller Addition*) for the purpose of conveying the two (2) lots. The site is located directly east of the intersection of S. FM 549 and Willow Ridge Circle, and is zoned Single Family Estate 4.0 (SFE-4.0) District.
- On October 17, 1994, the City Council approved the Lofland Lake Estates Subdivision that established the subject property as Lot 7, Block 1, Lofland Lake Estates Addition. The subject property was annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. The subject property was rezoned from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District on June 3, 2002 by *Ordinance No. 02-28 [Case No. PZ2001-103-01]*.
- On March 2, 2021, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$512.00 (*i.e. \$512.00 x 1 Lot*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$541.00 (*i.e. \$541.00 x 1 Lot*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Preliminary Plat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances - is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Preliminary Plat for *Lots 1 & 2, Block A, Neller Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The subdivision of land shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

† IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2380 South Farm to market 549

SUBDIVISION Lofland Lake Estates LOT 7 BLOCK 1

GENERAL LOCATION across the street from Willow Ridge Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>SFE-4</u>	CURRENT USE	<u>Residential</u>
PROPOSED ZONING	<u>N/A</u>	PROPOSED USE	<u>Residential</u>
ACREAGE	<u>11.368</u>	LOTS [CURRENT]	<u>1 lot</u>
		LOTS [PROPOSED]	<u>2 lots</u>

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Helen Comeau Neller</u>	<input checked="" type="checkbox"/> APPLICANT	<u>CBG Surveying Texas, LLC.</u>
CONTACT PERSON	<u>"Helen"</u>	CONTACT PERSON	<u>Bryan Connolly</u>
ADDRESS	<u>148 Harvest Hill Drive Rockwall, Tx. 75032</u>	ADDRESS	<u>12025 Shiloh Rd.</u>
CITY, STATE & ZIP	<u>Rockwall, Tx. 75032</u>	CITY, STATE & ZIP	<u>Dallas, Tx. 75228</u>
PHONE	<u>972-772-9911</u>	PHONE	<u>214-349-9485</u>
E-MAIL	<u>helen.comeau@me.com</u>	E-MAIL	<u>bryanC@cbgtxllc.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Comeau-Neller Helen Marie [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

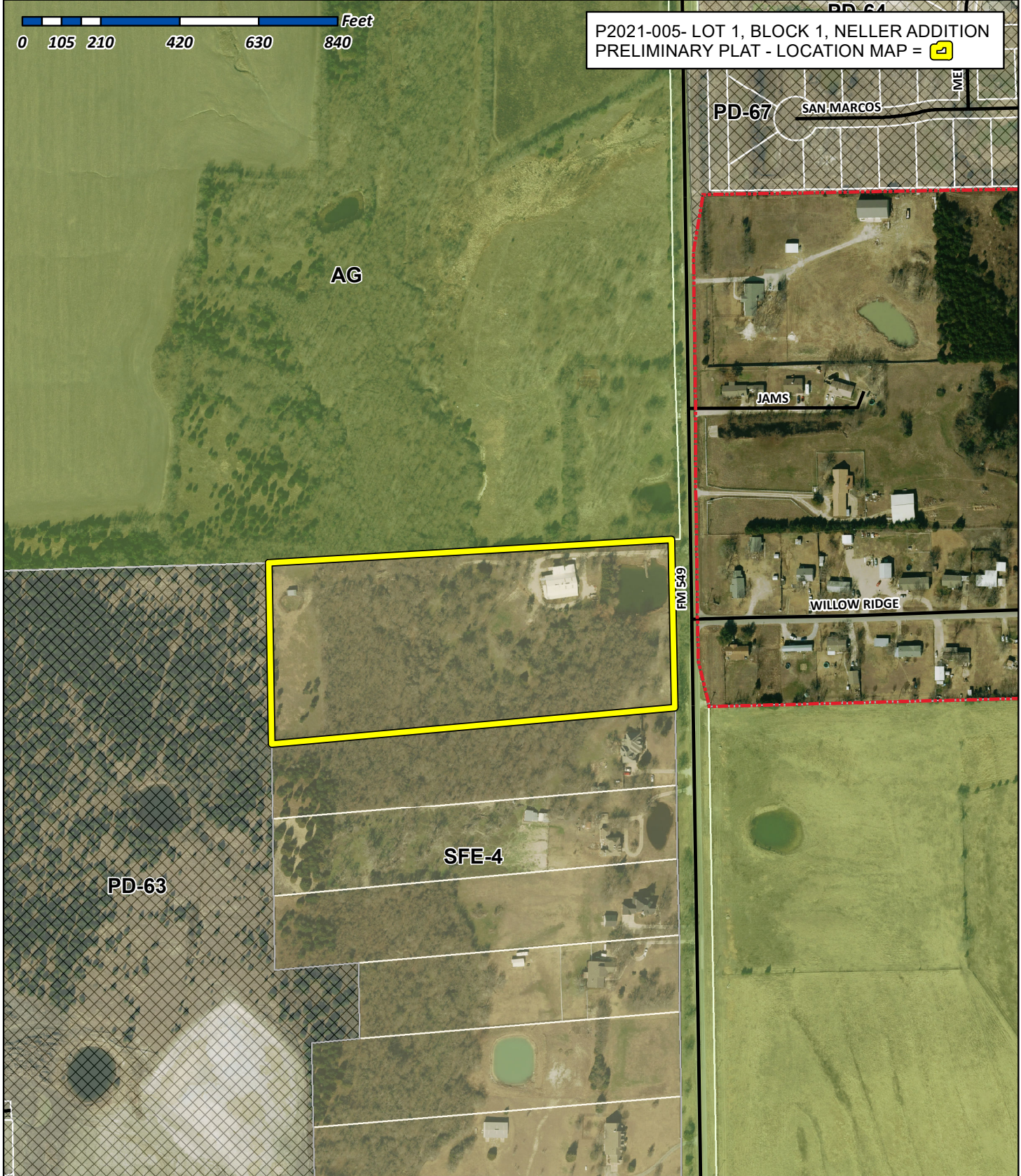
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 02 DAY OF FEBRUARY 2021

OWNER'S SIGNATURE

[Signature]
ERIKA MINJAREZ

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



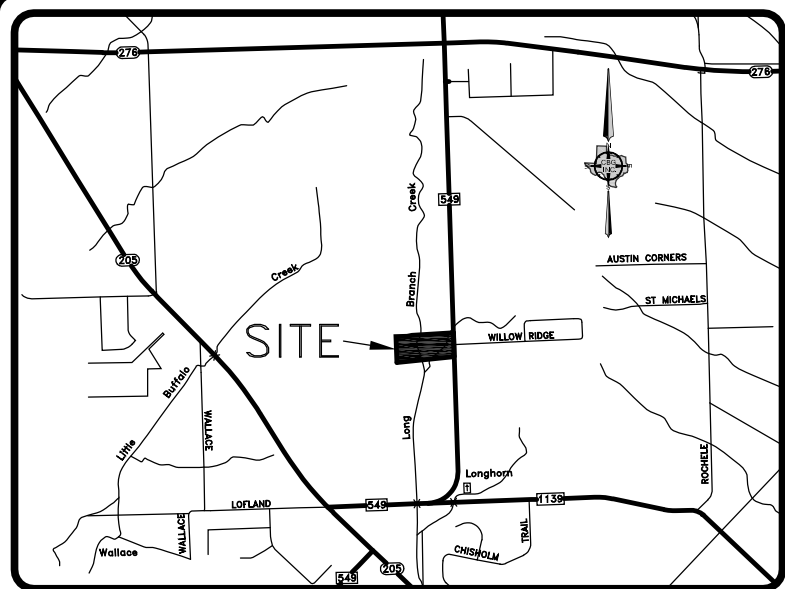


City of Rockwall

Planning & Zoning Department
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VICINITY MAP - NOT TO SCALE

GENERAL NOTES:

- 1) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, (4202) GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS.
- 2) THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS.
- 3) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 4) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0045L, THIS PROPERTY DOES LIE IN ZONE X & ZONE A AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
- 5) PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL DRAINAGE AND DETENTION SYSTEMS ON SITE.

LEGEND:

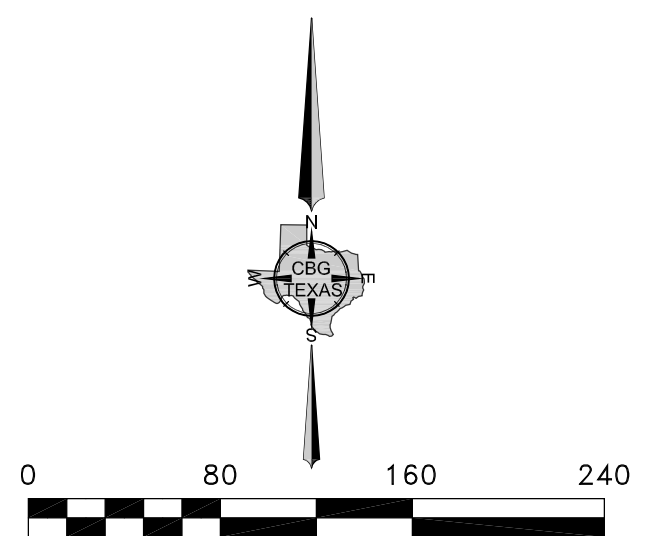
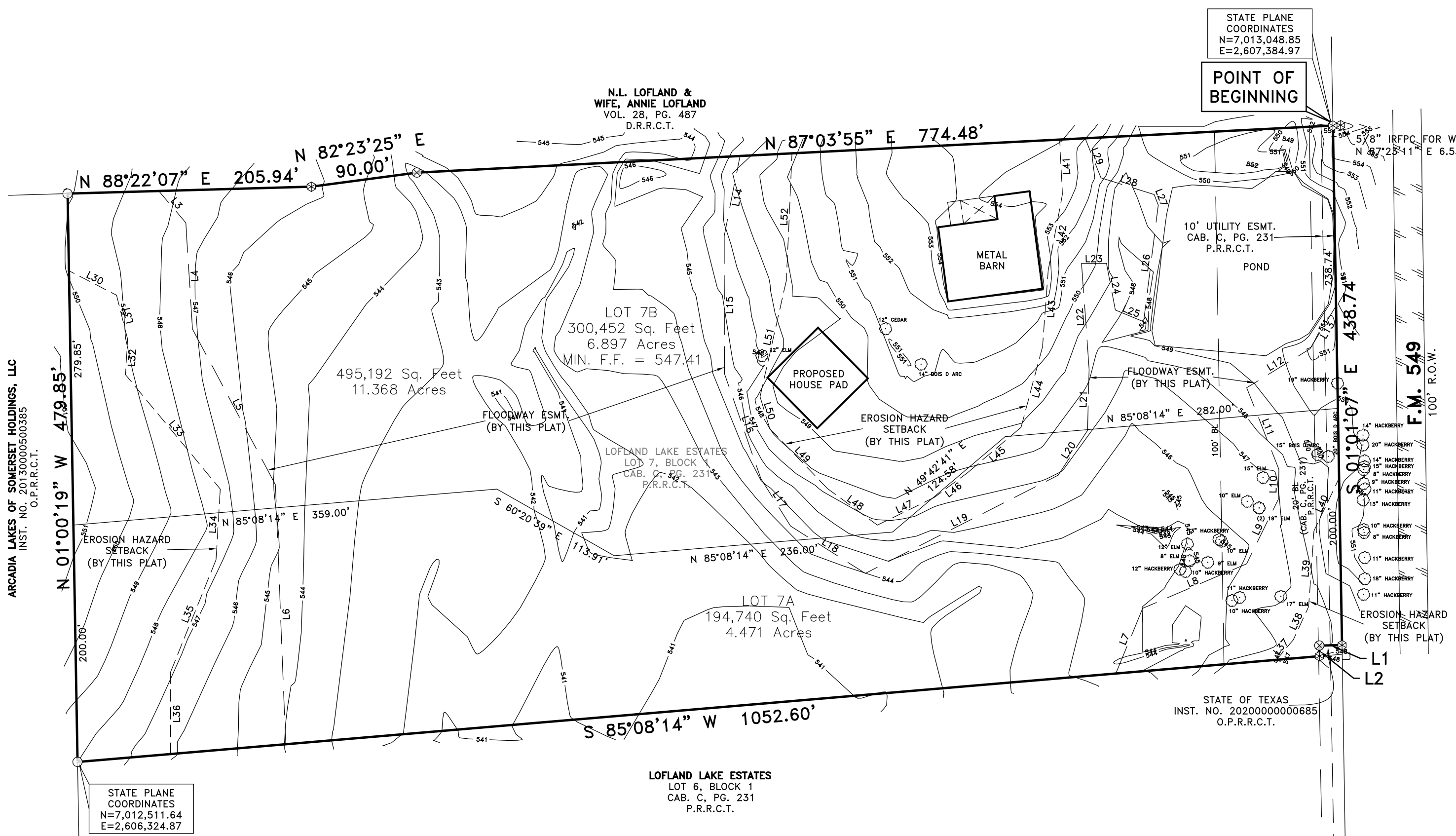
- 5/8" IRF = 5/8 INCH IRON ROD FOUND
- 5/8" IRFPC = 5/8 INCH IRON ROD FOUND WITH PINK CAP STAMPED "TX DOT"
- 1/2" IRF = 1/2 INCH IRON ROD FOUND
- 1/2" IRS = 1/2 INCH IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "CBG SURVEYING"
- CM CONTROLLING MONUMENT
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- R.O.W. RIGHT-OF-WAY
- SQ.FT. SQUARE FEET
- INST. NO. INSTRUMENT NUMBER
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS

FLOODWAY ESMT.

LINE	BEARING	DISTANCE
L3	S 40°16'47" E	35.22'
L4	S 03°35'38" E	89.85'
L5	S 28°04'02" E	148.88'
L6	S 02°16'11" E	219.28'
L7	N 22°22'33" E	59.53'
L8	N 66°48'29" E	95.52'
L9	N 28°09'56" E	60.72'
L10	N 00°54'59" E	25.26'
L11	N 21°29'28" W	74.05'
L12	N 58°25'59" E	62.67'
L13	N 31°15'11" E	42.45'
L14	S 11°13'04" W	68.80'
L15	S 00°09'57" E	116.50'
L16	S 19°07'17" E	93.57'
L17	S 32°00'19" E	47.17'
L18	S 57°40'31" E	74.81'
L19	N 63°00'51" E	182.69'
L20	N 33°16'57" E	45.18'
L21	N 01°36'42" E	51.63'
L22	N 04°09'19" W	89.64'
L23	N 89°49'04" E	21.06'
L24	S 10°52'47" E	40.09'
L25	S 67°34'48" E	25.76'
L26	N 07°09'54" E	99.22'
L27	N 21°02'01" W	9.58'
L28	N 72°39'13" W	47.05'
L29	N 21°46'01" W	35.98'

EROSION HAZARD SETBACK

LINE	BEARING	DISTANCE
L30	S 62°44'59" E	45.22'
L31	S 14°12'21" E	38.18'
L32	S 03°24'39" W	30.15'
L33	S 39°39'50" E	125.42'
L34	S 03°27'05" W	59.84'
L35	S 22°01'56" W	102.63'
L36	S 00°04'12" E	68.81'
L37	N 49°17'35" E	22.11'
L38	N 24°51'07" E	30.86'
L39	N 04°02'59" E	64.12'
L40	N 25°27'18" E	49.38'
L41	S 02°56'11" E	46.00'
L42	S 10°33'09" W	65.38'
L43	S 04°19'19" W	64.87'
L44	S 14°52'47" W	70.41'
L45	S 49°47'46" W	59.78'
L46	S 53°23'41" W	34.51'
L47	S 64°00'01" W	53.35'
L48	N 53°48'12" W	52.24'
L49	N 43°59'29" W	70.57'
L50	N 16°45'21" W	28.21'
L51	N 12°46'28" E	100.70'
L52	N 02°32'11" E	107.29'



LINE	BEARING	DISTANCE
L1	S 89°10'16" W	19.23'
L2	S 00°49'44" E	9.04'

(SHEET 1 OF 2)

REPLAT
LOT 7A AND 7B, BLOCK 1, NELLER ADDITION
 BEING A REPLAT OF LOT 7, BLOCK 1, LOFLAND LAKE ESTATES
 495,192 SQ.FT. / 11.368 ACRES
 ABNER JOHNSTON SURVEY, ABSTRACT NO. 123
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CBG
 SURVEYING TEXAS LLC
 PROFESSIONAL LAND SURVEYORS
 DFW - Houston - East Texas - Austin - San Antonio

PLANNING & SURVEYING
 Main Office
 12025 Shiloh Road, Ste. 230
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
 www.cbginctx.com

OWNER: GARY K. NELLER & HELEN COMEAU NELLER
 148 HARVEST HILL DRIVE
 ROCKWALL, TEXAS 75032
 PHONE: 972-772-9911

SCALE: 1"=80' / DATE: 1/19/2021 / JOB NO. 2013875-PLAT / DRAWN BY: TO
 CASE NO. _____

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas, Gary K. Neller and Helen Comeau Neller, BEING THE OWNERS OF A TRACT OF LAND in the County of Rockwall, State of Texas, said tract being described as follows:

Being a tract of land situated in the Abner Johnston Survey, Abstract No. 123, Rockwall County, Texas, and being Lot 7, Block 1, Lofland Lake Estates, an addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Page 231, Plat Records, Rockwall County, Texas, and being a tract of land conveyed to Gary K. Neller and wife, Helen Comeau Neller by deed recorded in Volume 2272, Page 139, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at 5/8 inch iron rod found with pink cap stamped "TX DOT" for corner, said corner being the Northeast corner of Lot 7, Block 1 of said Lofland Lake Estates, said corner being along the West right of way line of F.M. 549 (100 foot right of way), said corner being the Southeast corner of a tract of land conveyed to N.L. Lofland and wife, Annie Lofland by deed recorded in Volume 28, Page 487, Deed Records, Rockwall County, Texas;

THENCE South 01 degrees 01 minutes 07 seconds East along the West right of way line of F.M. 549, a distance of 438.74 feet to a 5/8 inch iron rod found with pink cap stamped "TX DOT" for corner, said corner being the Northeast corner of a tract of land conveyed to State of Texas by deed recorded in Instrument No. 2020000000685, Official Public Records, Rockwall County, Texas;

THENCE South 89 degrees 10 minutes 16 seconds West along the North line of said State of Texas tract, a distance of 19.23 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "CBG SURVEYING" for corner;

THENCE South 00 degrees 49 minutes 44 seconds East along the West of said State of Texas tract, a distance of 9.04 feet to a 5/8 inch iron rod found with pink plastic cap stamped "TX DOT" for corner, said corner being along the North line of Lot 6, Block 1, of said Lofland Lake Estates;

THENCE South 85 degrees 08 minutes 14 seconds West along the North line of Lot 6, Block 1, of said Lofland Lake Estates, a distance of 1,052.60 feet to a 1/2 inch iron rod found for corner, said corner being the Northwest corner of Lot 6, Block 1, of said Lofland Lake Estates, said corner being along the East line of a tract of land conveyed to Arcadia Lakes of Somerest Holdings, LLC by deed recorded in Instrument No. 20130000500385, Official Public Records, Rockwall County, Texas;

THENCE North 01 degrees 00 minutes 19 seconds West along the East line of said Arcadia Lakes of Somerest Holdings, LLC tract, a distance of 479.85 feet to a 1/2 inch iron rod found for corner, said corner being along the South line of said Lofland tract;

THENCE North 88 degrees 22 minutes 07 seconds East along the South line of said Lofland tract, a distance of 205.94 feet to a 5/8 inch iron rod found for corner;

THENCE North 82 degrees 23 minutes 25 seconds East along the South line of said Lofland tract, a distance of 90.00 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "CBG SURVEYING" for corner;

THENCE North 87 degrees 03 minutes 55 seconds East along the South line of said Lofland tract, a distance of 774.48 feet to the POINT OF BEGINNING and containing 495,192 square feet or 11.368 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the LOT 7A and 7B, BLOCK 1, NELLER ADDITION, an addition to Rockwall County, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the LOT 7A and 7B, BLOCK 1, NELLER ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

By: _____
Gary K. Neller, Owner

By: _____
Helen Comeau Neller, Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Gary K. Neller, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, _____.

By: _____

printed name: _____
Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Helen Comeau Neller, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, _____.

By: _____

printed name: _____
Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the _____ day of _____, _____.

RELEASED FOR REVIEW 2/03/2021 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

RECOMMENDED FOR FINAL APPROVAL

_____ Date _____
Planning and Zoning Commission

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, _____.

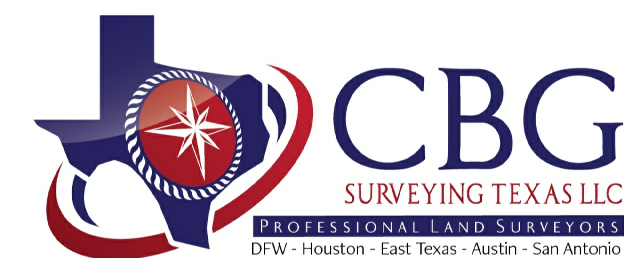
Mayor, City of Rockwall

City Secretary

City Engineer

(SHEET 2 OF 2)

REPLAT
LOT 7A AND 7B, BLOCK 1, NELLER ADDITION
BEING A REPLAT OF LOT 7, BLOCK 1, LOFLAND LAKE ESTATES
495,192 SQ.FT. / 11.368 ACRES
ABNER JOHNSTON SURVEY, ABSTRACT NO. 123
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Main Office
12025 Shiloh Road, Ste. 230
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148 HARVEST HILL DRIVE
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PHONE: 972-772-9911

SCALE: 1"=80' / DATE: 1/19/2021 / JOB NO. 2013875-PLAT / DRAWN BY: TO

CASE NO. _____

Parcel Map Check Report

Date: 2/9/2021 5:40:58 PM

Parcel Name: Site 1 - Standard : 1

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

Client: *Helen Comeau*

Prepared by: *CBG Surveying Texas, LLC*

North: 7,011,686.3241'

East: 2,606,686.5372'

Segment# 1: Line

Course: N87° 03' 55.00"E

Length: 774.48'

North: 7,011,725.9761'

East: 2,607,460.0015'

Segment# 2: Line

Course: S1° 01' 06.79"E

Length: 438.74'

North: 7,011,287.3054'

East: 2,607,467.8006'

Segment# 3: Line

Course: S89° 10' 15.93"W

Length: 19.23'

North: 7,011,287.0272'

East: 2,607,448.5726'

Segment# 4: Line

Course: S0° 49' 44.07"E

Length: 9.04'

North: 7,011,277.9881'

East: 2,607,448.7034'

Segment# 5: Line

Course: S85° 08' 14.22"W

Length: 1,052.60'

North: 7,011,188.7608'

East: 2,606,399.8921'

Segment# 6: Line

Course: N1° 00' 18.68"W

Length: 479.85'

North: 7,011,668.5369'

East: 2,606,391.4741'

Segment# 7: Line

Course: N88° 22' 07.47"E

Length: 205.94'

North: 7,011,674.3994'

East: 2,606,597.3306'

Segment# 8: Line

Course: N82° 23' 24.55"E

Length: 90.00'

North: 7,011,686.3178'

East: 2,606,686.5380'

Perimeter: 3,069.88'

Area: 495,192.11Sq.Ft.

2/9/2021

Parcel Map Check Report

Error Closure: 0.0063

Course: S6° 45' 01.61"E

Error North : -0.00630

East: 0.00075

Precision 1: 487,282.54



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 9, 2021

APPLICANT: Danielle Porten; *REP Investments, LLC*

CASE NUMBER: P2021-007; *Preliminary Plat for Lots 1-5, Block A and Lot 1, Block X, Industrial Park Addition*

SUMMARY

Discuss and consider a request by Danielle Porten of REP Investments, LLC for the approval of a *Preliminary Plat* for Lots 1-5, Block A and Lot 1, Block X, Blackland Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No. 223, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a preliminary plat for a non-residential subdivision (*i.e. Blackland Industrial Park Addition*), which will be situated on a 10.27-acre tract of land located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). According to the preliminary plat, the development will consist of five (5) non-residential lots that will be a minimum of 1½-acres in size. The development will be accessible via a 50-foot private road (*i.e. Blackland Court*) that will connect to the existing Blackland Road. The preliminary plat also shows that an additional 30-feet of right-of-way will be dedicated to the existing Blackland Road right-of-way. This dedication conforms to the *Rockwall County Thoroughfare Plan*.
- In addition to the preliminary plat, the applicant has submitted preliminary drainage and utility plans indicating how the development will be served. According to Section 38-5(d)(1), *Policy*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, "(l)and proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities whether the facilities are to be located within the property being developed or offsite." The applicant's submission appears to show the provision of sufficient public facilities; however, staff has requested that the applicant provide a will serve letter from the Blackland Water Supply Corporation (WSC) prior to the approval of a final plat. This has been added as a condition of approval.
- The preliminary plat is required to meet all of the requirements of the *Interim Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality* between Rockwall County and the City of Rockwall, the City of Rockwall's *Standards of Design and Construction Manual*, and Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.
- The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of*

the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for *Lots 1-5, Block A and Lots 1 & 2, Block X, Blackland Industrial Park Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The applicant shall provide a will serve letter from Blackland Water Supply Corporation (WSC) prior to the approval of a final plat for the subject property.
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 3500 Blackland Rd Royse City

Subdivision: _____ Lot: _____ Block: _____

General Location: Blackland + 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: _____ Current Use: Salvage / Raw land

Proposed Zoning: _____ Proposed Use: Industrial / Flex space

Acreage: 10.27 Lots [Current]: 1 Lots [Proposed]: 5

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the city no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>REP Investments LLC</u>	<input type="checkbox"/> Applicant	_____
Contact Person	<u>Danielle Porter</u>	Contact Person	_____
Address	<u>260 Myers Rd</u>	Address	_____
City, State & Zip	<u>Heath, TX 75032</u>	City, State & Zip	_____
Phone	<u>214-293-2826</u>	Phone	_____
E-Mail	<u>Danielle@rdwirelessllc.com</u>	E-Mail	_____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Danielle Porter REP Investments LLC [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of February, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

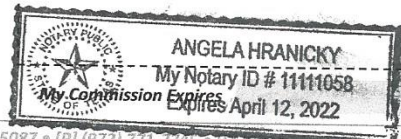
Given under my hand and seal of office on this the 10 day of February, 20 21.

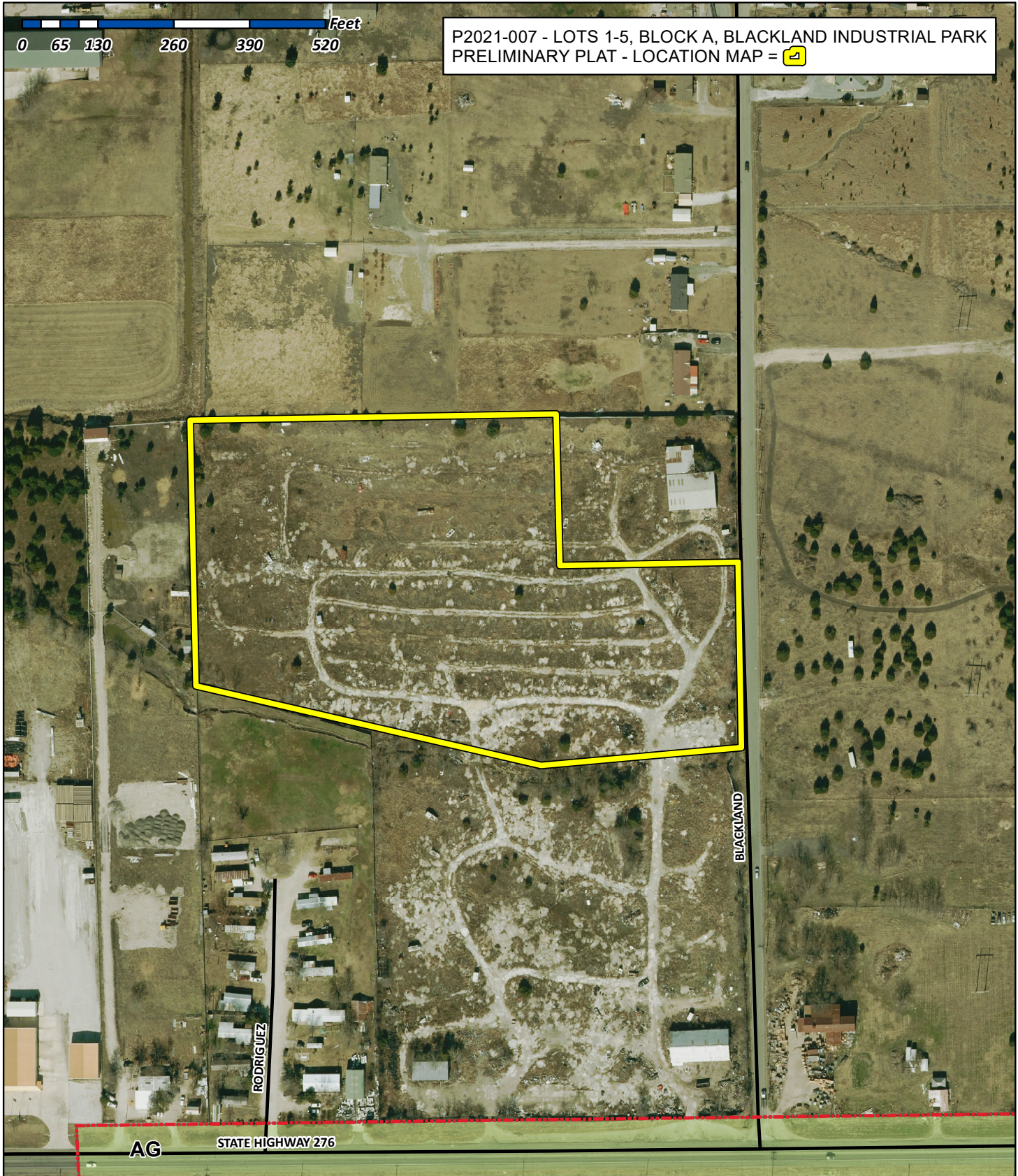
Owner's Signature

Danielle Porter

Notary Public in and for the State of Texas

Angela Hranicky



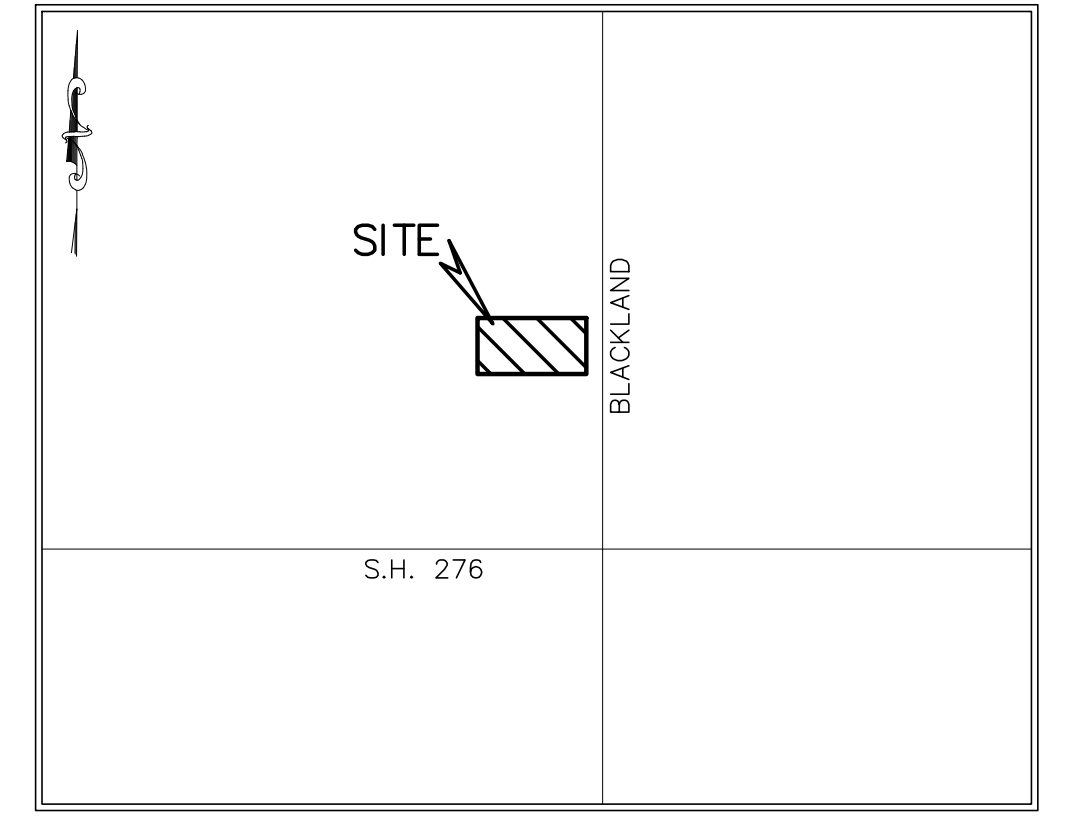
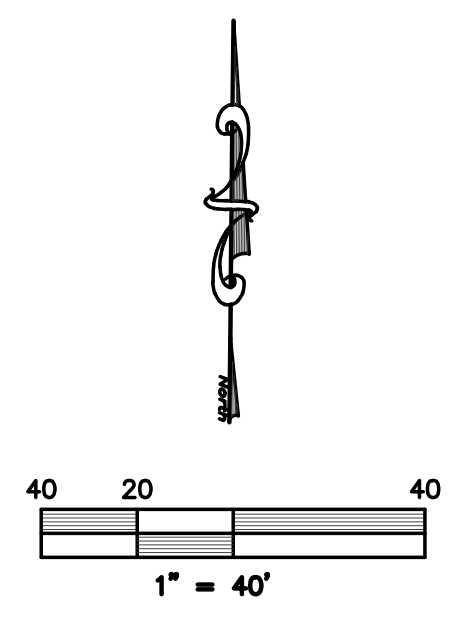


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



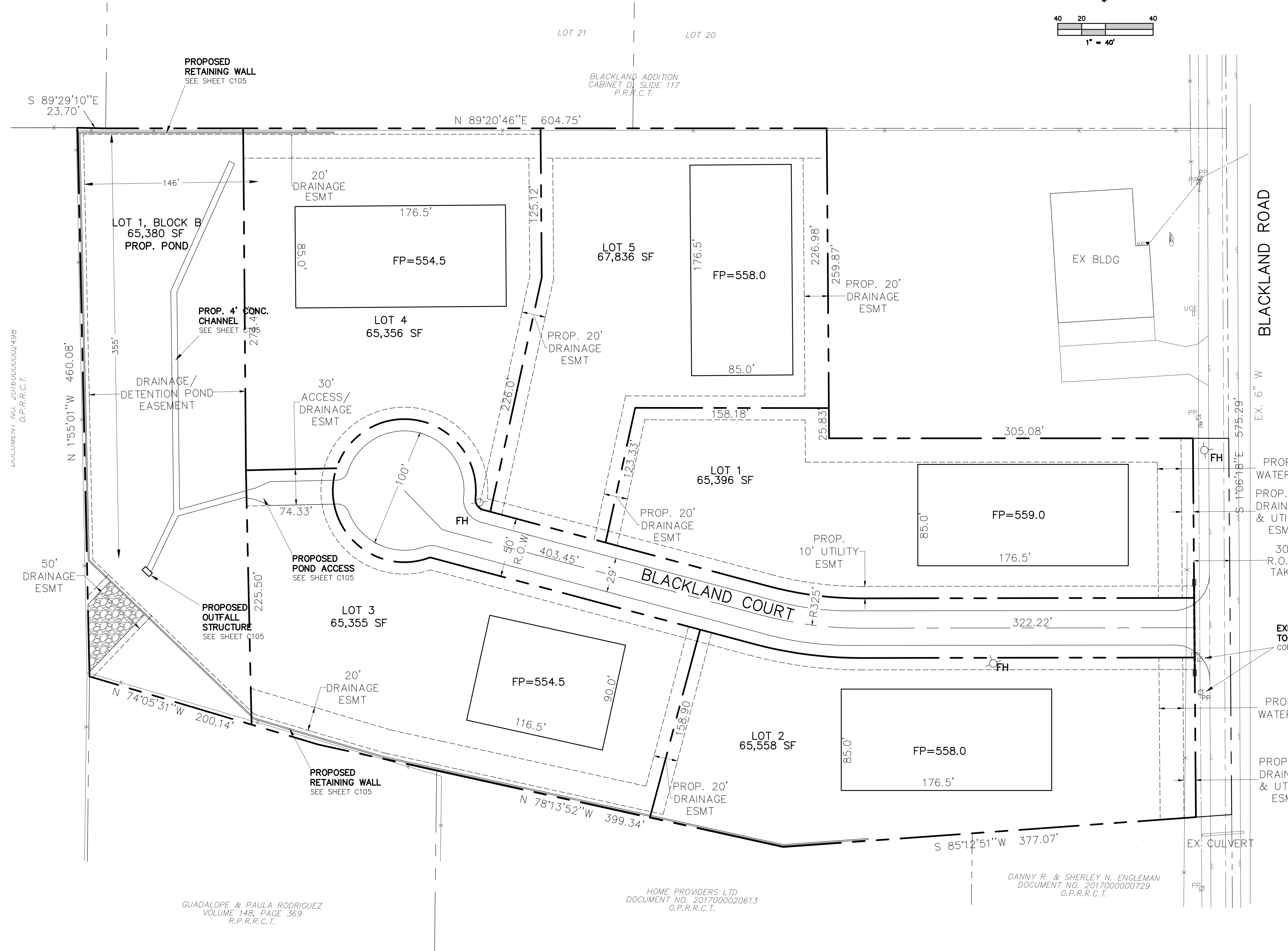


VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- = EX. WATER
- = EX. POWER POLE
- = EX. TELEPHONE BOX
- = PROP. FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMT. = EASEMENT

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL PRIVATE DETAILS ARE SUPERSEDED BY STD. CITY DETAILS
 - 5) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 6) THE PROPERTY OWNER WILL NEED TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE AND DETENTION SYSTEM ONSITE



DOCUMENT NO. 2017000002498
O.P.R.R.C.T.

GUADALOPE & PAULA RODRIGUEZ
VOLUME 148, PAGE 369
R.P.R.R.C.T.

HOME PROVIDERS LTD
DOCUMENT NO. 2017000020613
O.P.R.R.C.T.

DANNY R. & SHERLEY N. ENGLEMAN
DOCUMENT NO. 2017000000729
O.P.R.R.C.T.

PRELIMINARY REVIEW
NOT FOR CONSTRUCTION
CASE #P2021-007

**PRELIMINARY
LOT LAYOUT**

BLACKLAND ADDITION

BLACKLAND INDUSTRIAL PARK ADDITION
Lots 1-5, Blk A, & Lot 1, Block X
10.27 ACRES
City of Royse City, Rockwall County, Texas
owner

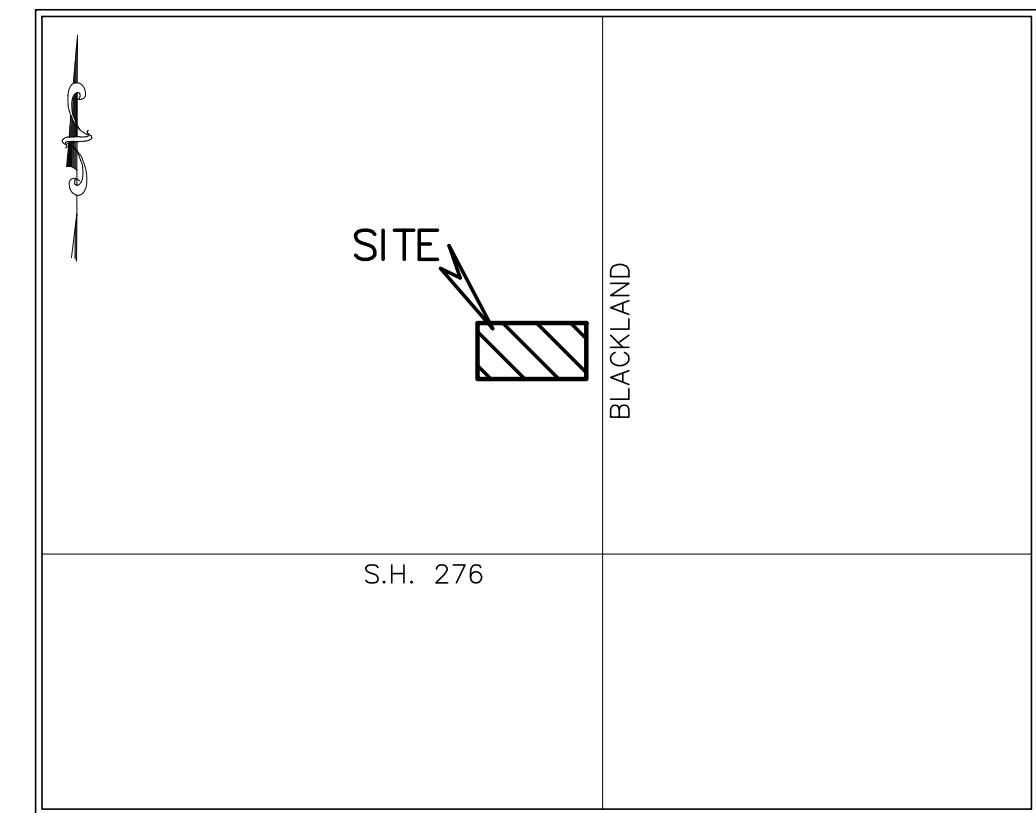
R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Porten 214 293-2826

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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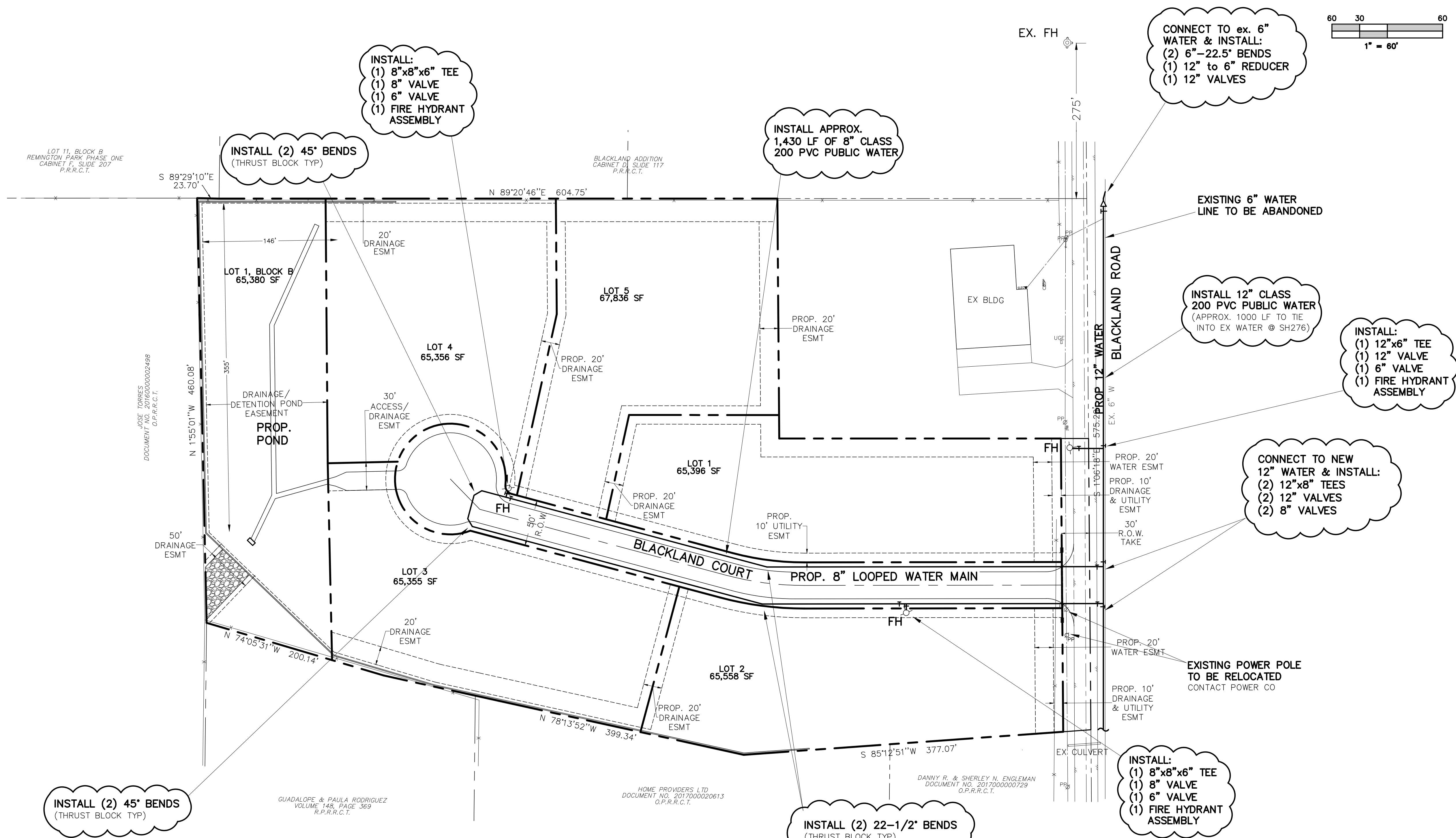
PROJECT NO.:	REG. NO.:	F-2567
date:	scale:	sheet:
3/2/21	1"=40'	C101



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. W — = EX. WATER
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- FH = EX. FIRE HYDRANT
- FH T = PROP. FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMT. = EASEMENT



INSTALL (2) 45' BENDS
(THRUST BLOCK TYP)

INSTALL:
(1) 8"x8"x6" TEE
(1) 8" VALVE
(1) 6" VALVE
(1) FIRE HYDRANT ASSEMBLY

INSTALL APPROX.
1,430 LF OF 8" CLASS
200 PVC PUBLIC WATER

CONNECT TO ex. 6" WATER & INSTALL:
(2) 6"-22.5" BENDS
(1) 12" to 6" REDUCER
(1) 12" VALVES

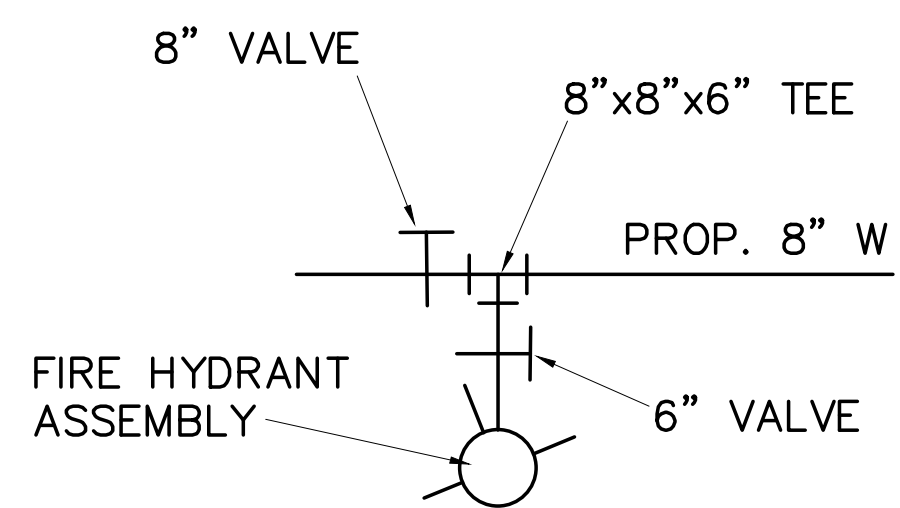
INSTALL 12" CLASS
200 PVC PUBLIC WATER
(APPROX. 1000 LF TO TIE INTO EX WATER @ SH276)

INSTALL:
(1) 12"x6" TEE
(1) 12" VALVE
(1) 6" VALVE
(1) FIRE HYDRANT ASSEMBLY

CONNECT TO NEW 12" WATER & INSTALL:
(2) 12"x8" TEES
(2) 12" VALVES
(2) 8" VALVES

INSTALL:
(1) 8"x8"x6" TEE
(1) 8" VALVE
(1) 6" VALVE
(1) FIRE HYDRANT ASSEMBLY

INSTALL (2) 22-1/2' BENDS
(THRUST BLOCK TYP)



FIRE HYDRANT CONNECTION
NOT TO SCALE

WATER LINE: DR14 C-900 CLASS 200

NOTE:
ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE IPC (INTERNATIONAL PLUMBING CODE), PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT BY A LICENSED PLUMBER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER SERVICES WILL BE PROVIDED & PERMITTED BY BLACKLAND WATER SUPPLY & MUST BE APPROVED BY THE CITY OF ROCKWALL.
 - 5) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
 - 6) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 7) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.

PRELIMINARY REVIEW
NOT FOR CONSTRUCTION.
CASE #P2021-007

**PRELIMINARY
SITE UTILITY PLAN
BLACKLAND ADDITION**

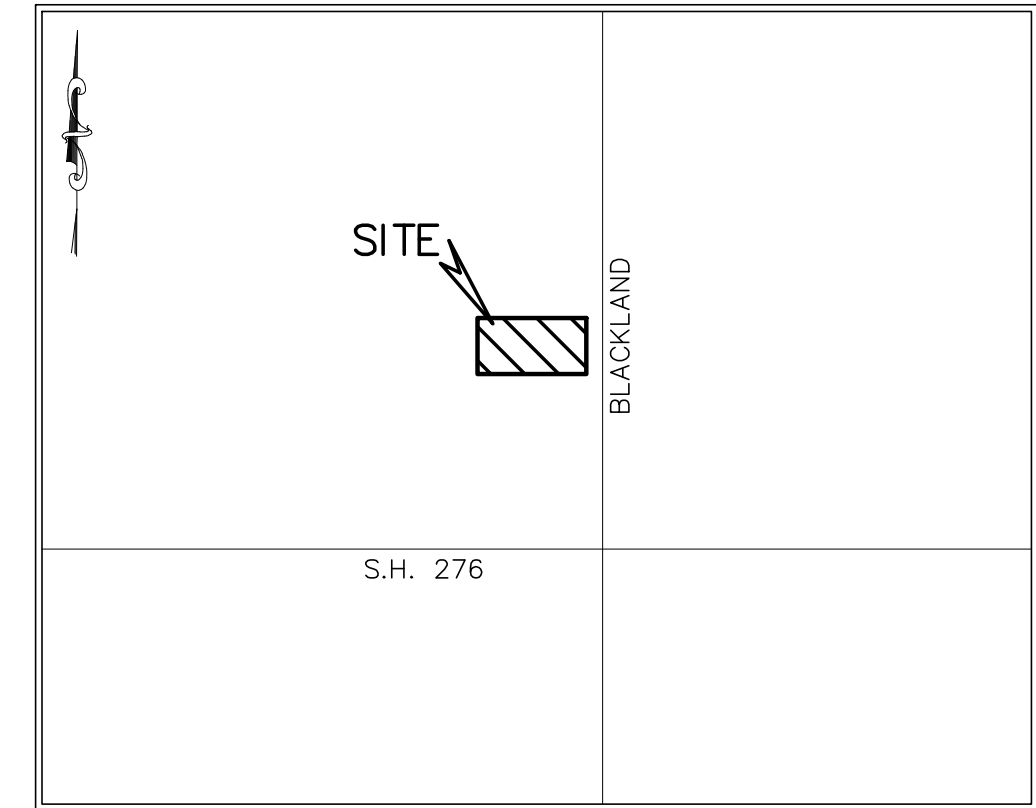
BLACKLAND INDUSTRIAL PARK ADDITION
Lots 1-5, Blk A, & Lot 1, Block X
10.27 ACRES
City of Roysse City, Rockwall County, Texas
owner

R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Porten 214 293-2826

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: REG. NO.: F-2567

date: 3/2/21 scale: 1"=60' sheet: **C102**



VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
 - 550 EXISTING CONTOURS
 - 550 PROPOSED CONTOURS
- AREA #
- ACRES
- CFS

Present Conditions

DRAINAGE AREA CALCULATIONS												
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 1100yr in/hr	Discharge Q 100yr cfs	Comments		
1	2		3,000	4	5	8	9	10	11	12		
1	0.35	1	1,550	0.54	20.00	5.90	3.20	8.30	4.50	undeveloped Offsite		
2	0.35	1	1,810	0.63	20.00	5.90	3.74	8.30	5.26	undeveloped		
3	0.35	1	0,400	0.14	20.00	5.90	0.83	8.30	1.16	undeveloped		
4	0.35	1	10,060	3.52	20.00	5.90	20.77	8.30	29.22	undeveloped		
			13,820									

Developed

DRAINAGE AREA CALCULATIONS												
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 1100yr in/hr	Discharge Q 100yr cfs	Comments		
1	2		3,000	4	5	8	9	10	11	12		
1	0.35	1	1,55	0.54	10.00	7.10	3.85	9.80	5.32	undeveloped Offsite		
2	0.9	1	1.81	1.63	10.00	7.10	11.57	9.80	15.96	DEV		
3	0.9	1	0.4	0.36	10.00	7.10	2.56	9.80	3.53	DEV		
4	0.9	1	9.89	8.90	10.00	7.10	63.20	9.80	87.23	DEV		
5	0.9	1	0.16	0.14	10.00	7.10	1.02	9.80	1.41	DEV By Pass		
			12,260									
										108.13		

PRELIMINARY REVIEW
NOT FOR CONSTRUCTION.
CASE #P2021-007

PRELIMINARY
DRAINAGE AREA MAP
BLACKLAND ADDITION

BLACKLAND INDUSTRIAL PARK ADDITION
Lots 1-5, Blk A, & Lot 1, Block X
10.27 ACRES
City of Royse City, Rockwall County, Texas
owner

R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Porten 214 293-2826

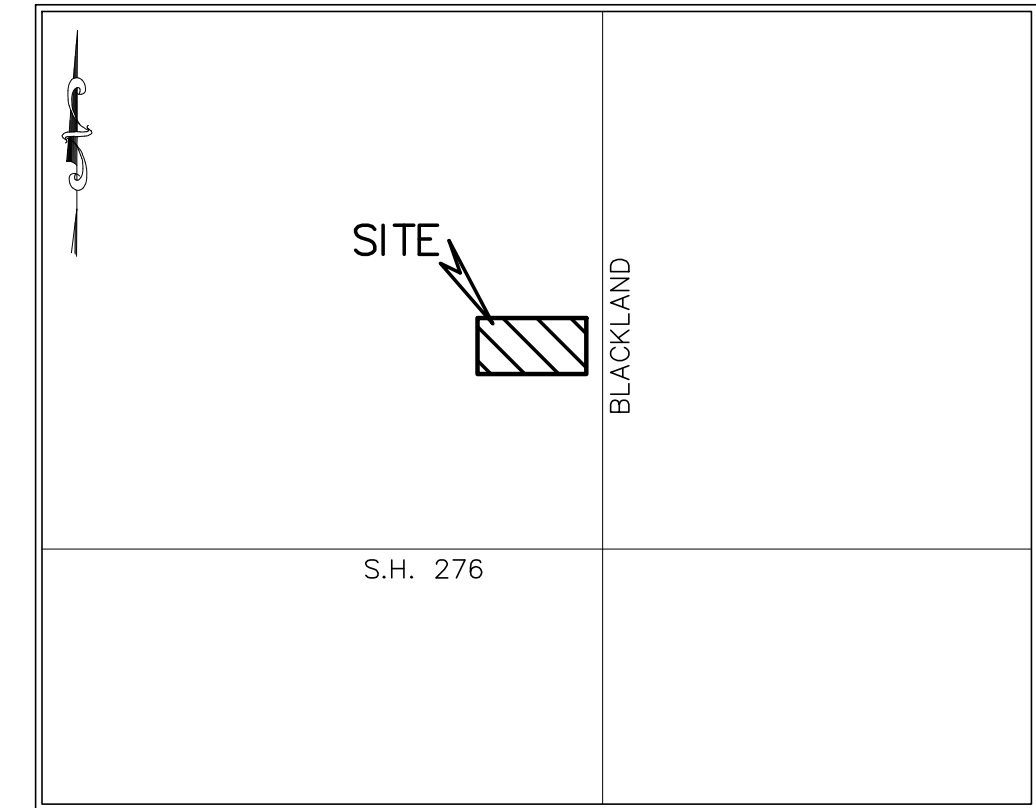
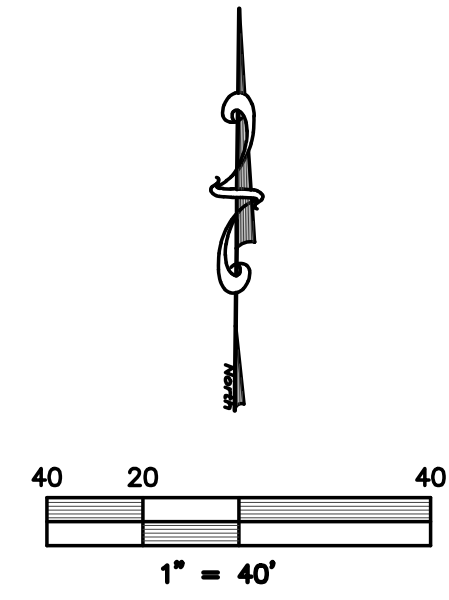
prepared by
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1200 W. State Street, Garland Texas 75040
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PROJECT NO.: REG. NO.: F-2567

date: 3/2/21 scale: 1"=60' sheet: C103

- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL PRIVATE DETAILS ARE SUPERSEDED BY STD. CITY DETAILS
 - 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 7) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 8) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 9) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE, IN EASEMENTS, OR IN RIGHT OF WAY.
 - 10) THE PROPERTY OWNER WILL NEED TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE AND DETENTION SYSTEM ONSITE



VICINITY MAP
NOT TO SCALE

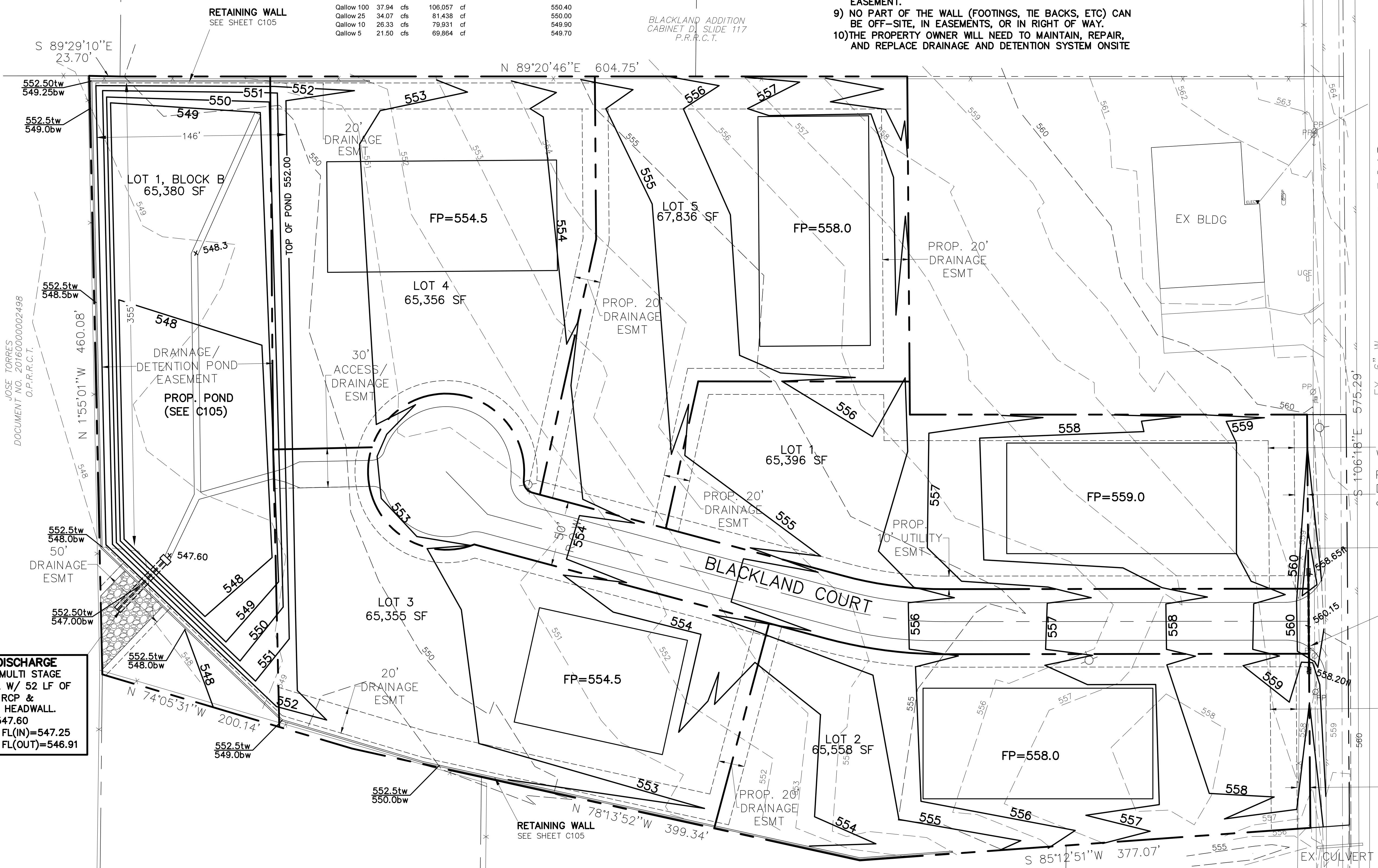
Summary Detention Pond A Calculations

	Volume	Elevation
Qallow 100	37.94 cfs	106,057 cf
Qallow 25	34.07 cfs	81,438 cf
Qallow 10	26.33 cfs	79,931 cf
Qallow 5	21.50 cfs	69,864 cf

LOT 21

LOT 20

BLACKLAND ADDITION
CABINET D1 SLIDE 117
P.R.R.C.T.



LEGEND

- = PROPERTY LINE
- 550- = EXISTING CONTOURS
- 550— = PROPOSED CONTOURS
- EX. W. = EX. WATER
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- FH = PROP. FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMT. = EASEMENT

PUBLIC CULVERT
INSTALL 71 LF OF 12" RCP
W/P-SET HEADWALLS
(SLOPE 0.70%)
12" FL(IN)=568.75
12" FL(OUT)=568.20

POND DISCHARGE
CONST. MULTI STAGE
OUTFALL W/ 52 LF OF
2- 30" RCP &
SLOPING HEADWALL.
FL(IN)=547.60
(2) 30" FL(IN)=547.25
(2) 30" FL(OUT)=546.91

PRELIMINARY REVIEW
NOT FOR CONSTRUCTION.
CASE #2021-007

**PRELIMINARY
GRADING PLAN
BLACKLAND ADDITION**

BLACKLAND INDUSTRIAL PARK ADDITION
Lots 1-5, Blk A, & Lot 1, Block X
10.27 ACRES
City of Roysse City, Rockwall County, Texas
owner

R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Porten 214 293-2826

prepared by
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1200 W. State Street, Garland Texas 75040
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PROJECT NO.: REG. NO.: F-2567

date: 3/2/21 scale: 1"=40' sheet: C104

GUADALOPE & PAULA RODRIGUEZ
VOLUME 148, PAGE 369
P.R.R.C.T.

HOME PROVIDERS LTD
DOCUMENT NO. 2017000020613
O.P.R.R.C.T.

DANNY R. & SHERLEY N. ENGLEMAN
DOCUMENT NO. 201700000729
O.P.R.R.C.T.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: March 9, 2021

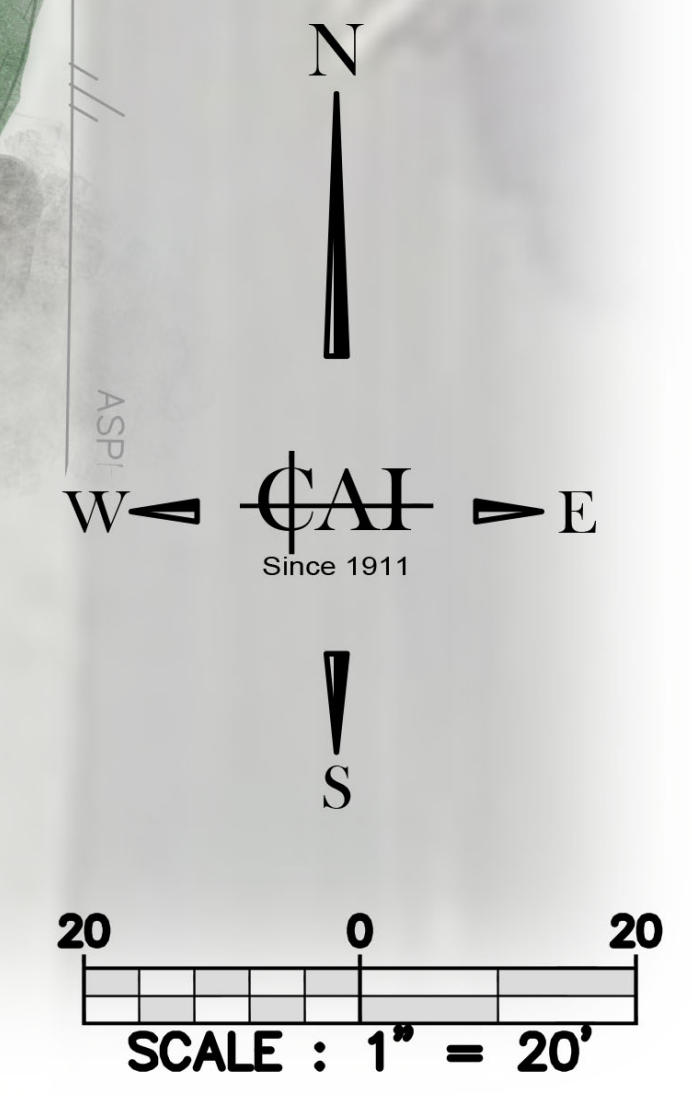
SUBJECT: Z2021-002; *Specific Use Permit (SUP) for Self-Service Car Wash at 3611 N. Goliad Street*

On March 1, 2021, the City Council remanded *Case No. Z2021-002* back to the Planning and Zoning Commission. The catalyst for this action, as cited by the City Council, was the submission of additional documentation provided by the applicant that was not considered by the Planning and Zoning Commission, and the realization by staff that the submitted sound studies did not comply with Article IV, *Noise*, of Chapter 16, *Environment*, of the Municipal Code of Ordinances (*this fact was not conveyed to the Planning and Zoning Commission at the time of their consideration*). According to Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(n)ew matters of evidence not presented to the Planning and Zoning Commission shall not be heard or considered by the City Council ... [in] the event new evidence develops between the date of the public hearing by the Planning and Zoning Commission and the hearing of the City Council ... the City Council shall refer the zoning change, Specific Use Permit (SUP), or text amendment back to the Planning and Zoning Commission for a further public hearing to consider the new evidence.” The applicant has contended that the submitted information was provided in response to the Planning and Zoning Commission’s recommendation; however, staff found the exhibits to lack conformance to the City’s code requirements. After a conversation with staff the applicant again revised the exhibits and resubmitted them for consideration by the Planning and Zoning Commission. Based on the materials submitted after the City Council meeting, staff has identified the following issues:

- (1) *Noise*. According to Section 16-183, *Limits on Environmental Sound Levels*, of the Municipal Code of Ordinances, the highest readings permitted within a commercial or agricultural land use district is 72 dbA (62 dbA ambient) from 7:00 AM to 10:00 PM and 67 dbA (57 dbA ambient) from 10:00 PM to 7:00 AM. According to the sound study for the proposed 10 HP and 15 HP vacuums, the readings for vacuums with and without sound attenuation range between 79.5 dbA and 95.8 dbA (*all of which exceed the City’s maximum sound requirements*). In addition, another sound study was submitted that the applicant indicated is from a comparable site in Barrie, Ontario. This study shows that the sound during peak hours (*i.e. 12:32 PM – 1:49 PM*) ranges from 73.2 dbA to 92.1 dbA, which is in excess of the City’s maximum sound requirements. Staff should note that this is the same sound study that was originally provided to Planning and Zoning Commission. The applicant has stated that they are providing an updated sound study that will show compliance; however, as of the time of this case memo staff had not received any updates.
- (2) *Building Elevations*. The applicant has submitted new buildings elevations showing the incorporation of a pitched roof, which does appear to conform to the *General Overlay District Requirements* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC); however, the roof is not visible from the front or rear of the building and the elements that remain in these areas do not conform to the articulation requirements stipulated by the *General Commercial District* standards contained in the same article.
- (3) *Side Yard Setback*. The minimum side yard setback for a property in a General Retail (GR) District is ten (10) feet. In this case, the applicant’s proposed building is 6.8-feet from the southern property line. This is permissible if the applicant incorporates a fire rated wall along the entire southern façade of the proposed building. This is also significant because this would put the tunnel less than ten (10) feet from this property line, and according to the sound study provided by the applicant this is the location that produced the largest dbA value (*i.e. 92.1 dbA*). This means that the proposed development will most likely not be able to meet the City’s sound requirements if the building is situated as it is depicted on the concept plan.

- (4) Screening. The screening plan provided by the applicant do not appear to meet the recommendation provided by the Planning and Zoning Commission. Specifically, the Planning and Zoning Commission asked that the tunnel be screened by three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*). These three (3) rows of shrubs are supposed to be stacked in front of each other to create a thick vegetative screen; however, the screening depicted on the concept plan does not show this is being achieved. Staff should also point out that this is primarily due to the parking provided adjacent to SH-205, which only allows a two (2) foot area for the planting of trees and shrubs, and does not provide a sufficient amount of space to provide three (3) tiered screening.

In addition to these deficiencies, the tunnel of the carwash is still not in compliance with the land use requirements stipulated in Article 04, *Permissible Uses*, of the Unified Development Code (UDC). Staff should note that this was specifically cited as an issue for the City Council in their motion to remand the case back to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the March 9, 2021 meeting.

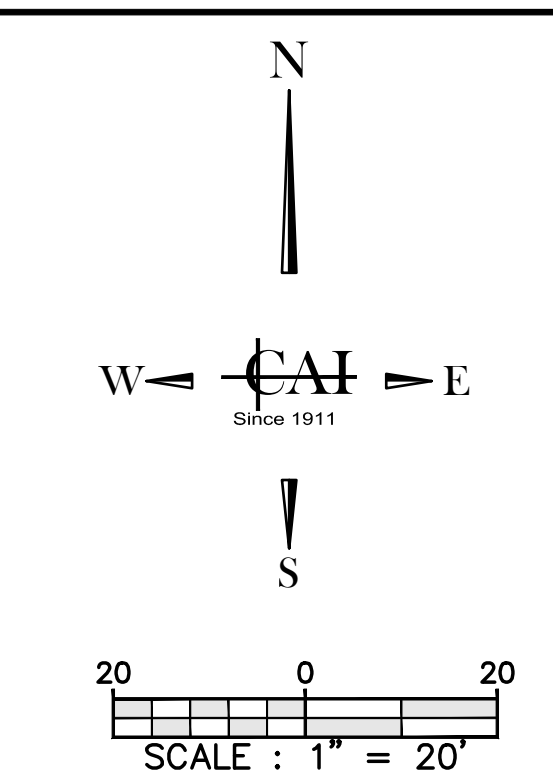
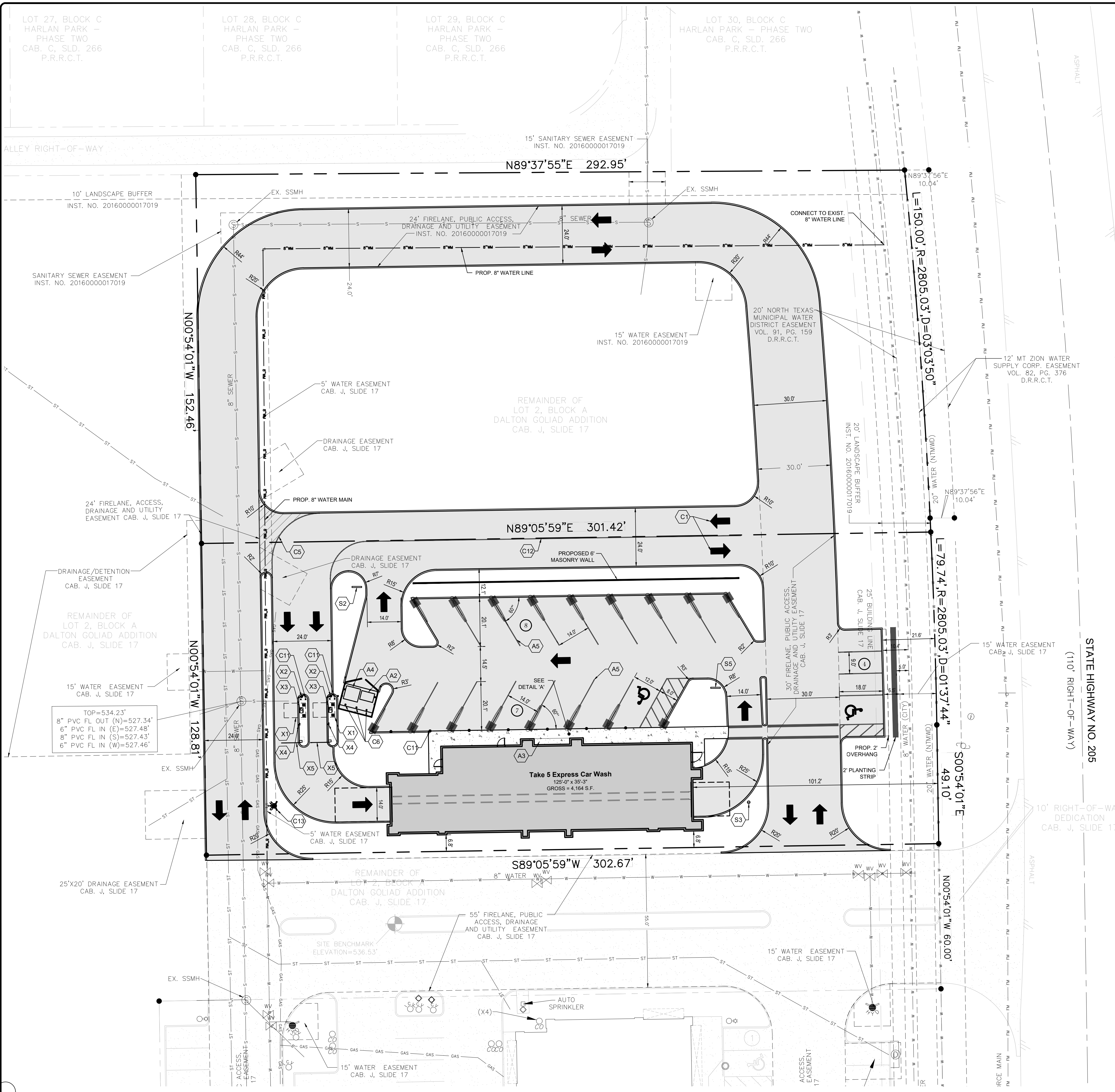


Rockwall Car Wash - CONCEPTUAL LANDSCAPE

3611 N. GOLIAD STREET | ROCKWALL, TEXAS

MARCH 4, 2021





SITE DATA

PROJECT NAME: CAR WASH USA EXPRESS OF ROCKWALL, TX
 3611 N. GOLLAD ST
 ROCKWALL, TX 75087
 0.894 AC
 CITY OF ROCKWALL
 GR - GENERAL RETAIL
 CAR WASH
 VACANT
 ZONE X
 MAP 48397C0030L
 DATED SEPTEMBER 26, 2008

SETBACKS:
 FRONT: 15 FT.
 REAR: 0 FT. (W/ FIRE RETARDANT WALL)
 SIDE: 0 FT. (W/ FIRE RETARDANT WALL)

PARKING CALCULATIONS
 PARKING PROVIDED: 19 SPACES (15 VACS)

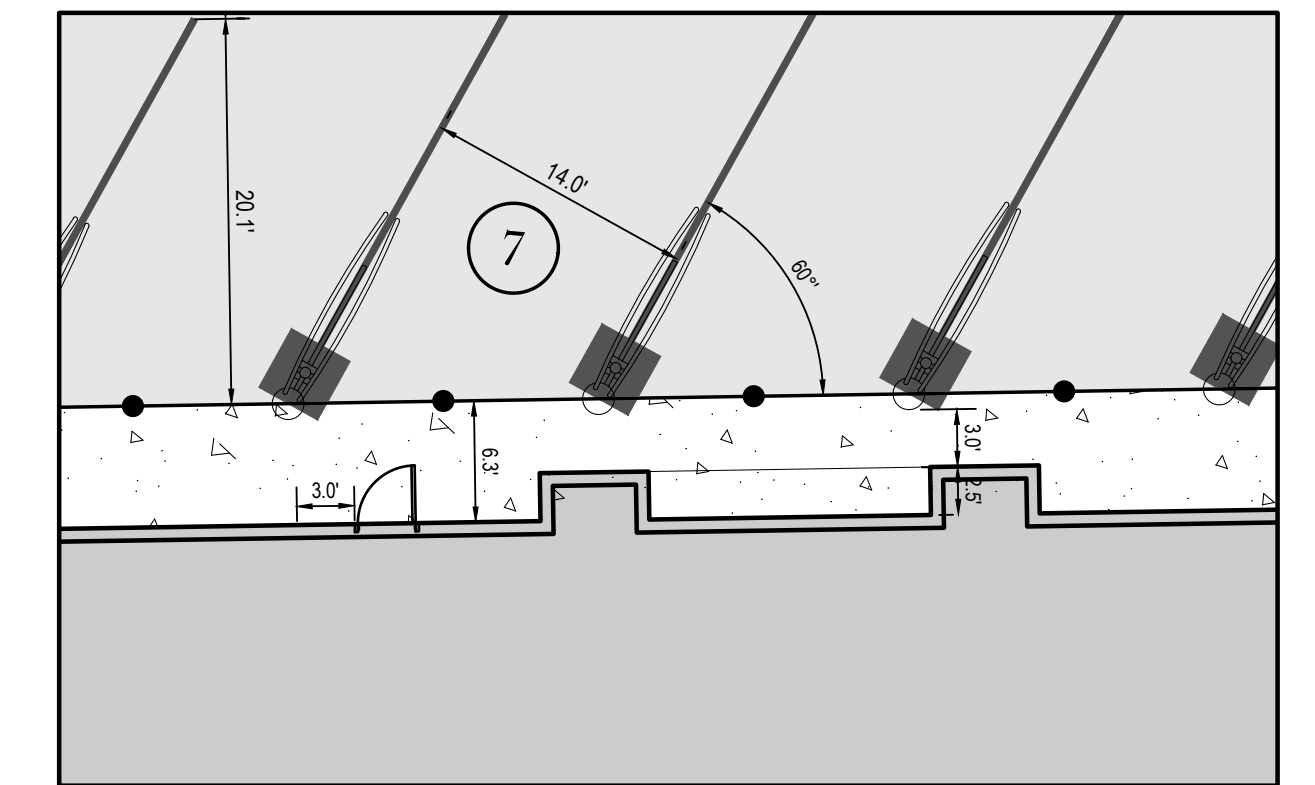
- SITE NOTES**
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. THE BURIAL OF TREES AND OTHER DEBRIS ON-SITE WILL NOT BE ALLOWED.
 - ALL CONSTRUCTION ACTIVITIES/WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE OF TEXAS, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
 - ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 - ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE. ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION BUILDING DIMENSIONS SHALL BE COORDINATED AND CHECKED WITH THE ARCHITECTURAL PLANS.
 - ALL DISTURBED AREAS WITHIN SIDEWALK/ CURB AND GUTTER/ ROAD PAVEMENT SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL HAVE A WIDTH OF 5 FEET, UNLESS OTHERWISE NOTED.

- SIGN KEYNOTES**
- (S1) "TRUCK OWNER" SIGN
 - (S2) ILLUMINATED MONUMENT SIGN
 - (S3) TUNNEL EXIT LIGHT
 - (S4) "COME BACK SOON" SIGN
 - (S5) "FREE VACUUM" SIGN

- PAY KIOSK KEYNOTES**
- (X1) PAY STATION CANOPY. REFERENCE ARCH PLANS FOR DETAILS.
 - (X2) XPT MENU BOARD. REFERENCE ARCH PLANS FOR DETAILS.
 - (X3) KIOSK. REFERENCE ARCH PLANS FOR DETAILS.
 - (X4) FAST PASS READER. REFERENCE ARCH PLANS FOR DETAILS.
 - (X5) GATE. REFERENCE ARCH PLANS FOR DETAILS.

- LEGEND**
- (Grey box) PROPOSED CONCRETE PAVEMENT SIDEWALK (SEE DETAIL THIS SHEET)
 - (Dashed line) PROPOSED CONCRETE SIDEWALK
 - (Dashed line) BUILDING SETBACK
 - (Circle with 10) PARKING SPACE COUNTER
- NOTE: LIGHTER SHADE DENOTES EXISTING CONDITION.

- SITE FEATURES KEYNOTES**
- (A1) RHINO-MAT WASH STATION WITH CMU WALL. REFERENCE ARCH SITE DETAILS.
 - (A2) VACUUM EQUIPMENT. REFERENCE ELECTRICAL DETAILS.
 - (A3) VENDING MACHINE. REFERENCE ARCH PLANS FOR DETAILS.
 - (A4) CMU DUMPSTER ENCLOSURE. REFERENCE ARCH PLANS FOR DETAILS.
 - (A5) VACUUM CANOPY. REFERENCE ARCH PLANS DETAILS.
 - (C1) PAVEMENT MARKINGS. REFERENCE SHEET C-4 FOR DETAILS.
 - (C2) PAD MOUNTED TRANSFORMER. REFERENCE SHEET C-4 FOR DETAILS.
 - (C3) WHEEL STOP. REFERENCE SHEET C-4 FOR DETAILS.
 - (C4) ACCESSIBLE SIGN IN BOLLARD. REFERENCE SHEET C-4 FOR DETAILS.
 - (C5) 4" WHITE STRIPING. REFERENCE SHEET C-4 FOR DETAILS.
 - (C6) BOLLARD TYPE I. REFERENCE SHEET C-4 FOR DETAILS.
 - (C7) BARRIER FREE RAMP. REFERENCE SHEET C-4 FOR DETAILS.
 - (C8) ACCESSIBLE PARKING. REFERENCE SHEET C-4 FOR DETAILS.
 - (C9) WATER RECLAMATION SUMP. REFERENCE MEP DETAILS.
 - (C10) SAND AND OIL INTERCEPTOR. REFERENCE MEP DETAILS.
 - (C11) BOLLARD TYPE II. REFERENCE SHEET C-4 FOR DETAILS.
 - (C12) 4" SOLID WHITE LANE STRIPE.
 - (C13) PROPOSED FIRE HYDRANT



CAI
 CARTER ASSOCIATES, INC.
 SERVING FLORIDA SINCE 1911
 CONSULTING ENGINEERS
 AND LAND SURVEYORS
 1708 21ST STREET
 VERO BEACH, FL 32960
 TEL: 0729-569-4191
 EMAIL: Trevor@CarterAssoc.com

BOING US HOLDCO, INC
 dba "CAR WASH USA EXPRESS"
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO 80111
 TEL: (214) 208-0339
 EMAIL: LISAWHITE@CWG.COM

NO.	DATE	REVISION

TAKE 5 EXPRESS CAR WASH
 3611 N. GOLLAD STREET
 ROCKWALL, TX 75087

STATE OF TEXAS
 TREVOR STUBBS
 138964
 LICENSED PROFESSIONAL ENGINEER

TREVOR STUBBS, P.E.
 TX. LIC. NO. 138964
 CARTER ASSOCIATES, INC.
 COA 205 / LB 205

DATE: 3/2/21
 PROJ. #: 20-419 E
 DRAWN BY: TGS
 DATUM: SEE SURVEY
 REF. #: SEE SURVEY
 F.B. & PG.: SEE SURVEY

SHEET TITLE:
SITE PLAN
 SHEET
C-3
 DWG. NO.

Mar. 3. 21. 3:38 PM
 P:\20-419 E CW\20-419 E\20-419 E-BASE.dwg, Sh Plot, Trevor Stubbs



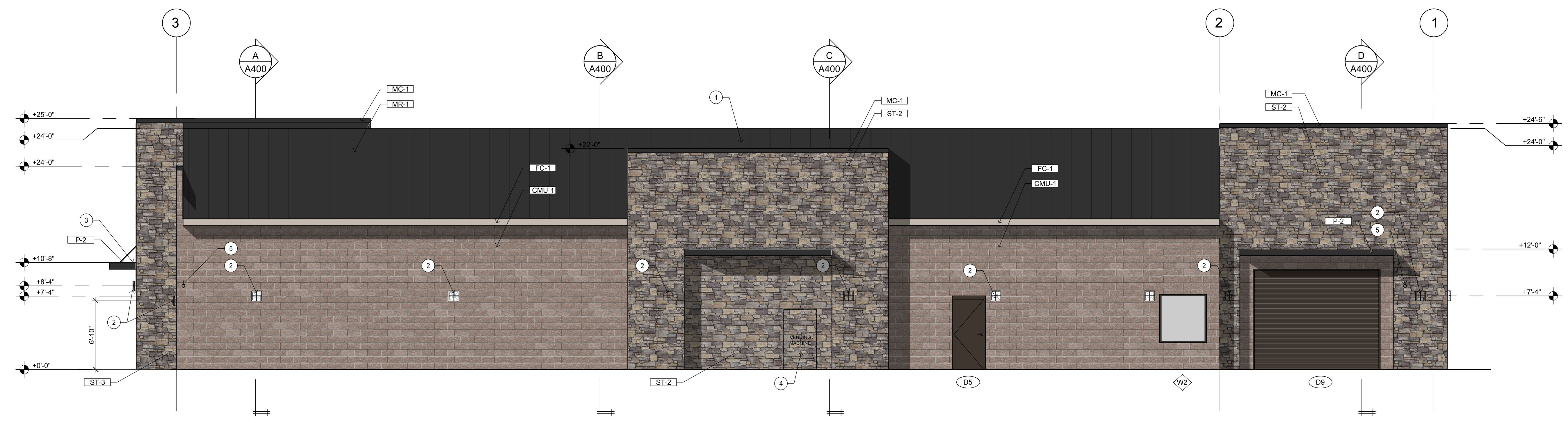
DATE	DESCRIPTION	DELTA
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XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

TAKE 5 CAR WASH
 NORTH GOLIAD STREET
 ROCKWALL, TX

ARCHITECT:
NEPTUNE
 DESIGN STUDIO
 ENGINEER:

STAMPS

SHEET TITLE
EXTERIOR ELEVATIONS
 PROJECT NUMBER
20-018
 DATE 01.14.2021
 SCALE AS NOTED
 DRAWN TMS
 CHECKED JDE
 SHEET NO
A300



NORTH ELEVATION 1
3/16" = 1'-0"



SOUTH ELEVATION 2
3/16" = 1'-0"

EXTERIOR MATERIAL AND FINISH SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	SIZE	COLOR	FINISH	REMARKS
CMU-1	CONCRETE MASONRY UNIT	ESHELON	SPLIT FACE	8X8X16	APACHE BROWN	-	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
MR-1	METAL ROOFING	FIRESTONE	UNA-CLAD	-	CHARCOAL GRAY	-	
FC-1	ROOF FASCIA	JAMES HARDIE	HARDI	-	CREAM	-	
MP-1	METAL PANEL(SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	
MC-1	METAL COPING	METAL-ERA	PERMA-TITE	-	DARK BRONZE	-	TAPERED
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6539 SOOTHING WHITE	SEE REMARKS	WALLS: PAINT SPECIFICATIONS #1
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6991 BLACK MAGIC	SEE REMARKS	CANPOIES: PAINT SPECIFICATION #5 DOORS AND FRAMES: PAINT SPECIFICATION #5
F-1	SHADE FABRIC - VACUUMARCHES	POLYFAB	COMTEX	-	865227 RED	-	RESPONSIBILITY
PC-1	POWDER COAT - VACUUMARCHES	CARDINAL PAINTS VIA VACUTECH	-	-	SILVER METALLIC 30 GLOSS T353-GR06	-	FACTORY POWDER COATED
PC-2	POWDER COAT - TSS CANOPY	TSS	-	-	BLUE	-	FACTORY POWDER COATED
H-1	VACUUMHOSE	VACUTECH	-	-	RED	-	
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	
ST-2	CULTURED STONE	ELDORADO	LUCERA	VARIABLES	TAN/STONE	-	
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES
N.T.S

- KEYNOTES**
- 1 METAL ROOF 6:12 PITCH
 - 2 EXTERIOR LIGHT FIXTURE "W". REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
 - 3 PAINTED STEEL CANOPY.
 - 4 VENDING MACHINE. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
 - 5 SECURITY CAMERA. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO E301 FOR CONDUIT REQUIREMENTS
 - 6 ROOF DRAIN LEADER AND OVERFLOW OUTLETS

- GENERAL NOTES**
- A. CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
 - B. BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
 - C. REFER TO E301 FOR SECURITY PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
 - G. UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON S100.
 - F. REFER TO DOOR AND WINDOW SCHEDULE ON A802 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

PLOT DATE : 3/4/2021 TIME: 9:53 PM

CLIENT



DATE	DESCRIPTION	DELTA
XX-XX-XX		1 X
XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

TAKE 5 CAR WASH

NORTH GOLIAD STREET
ROCKWALL, TX

ARCHITECT:

NEPTUNE
DESIGN STUDIO

ENGINEER:

STAMPS

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECT NUMBER
20-018

DATE 01.14.2021

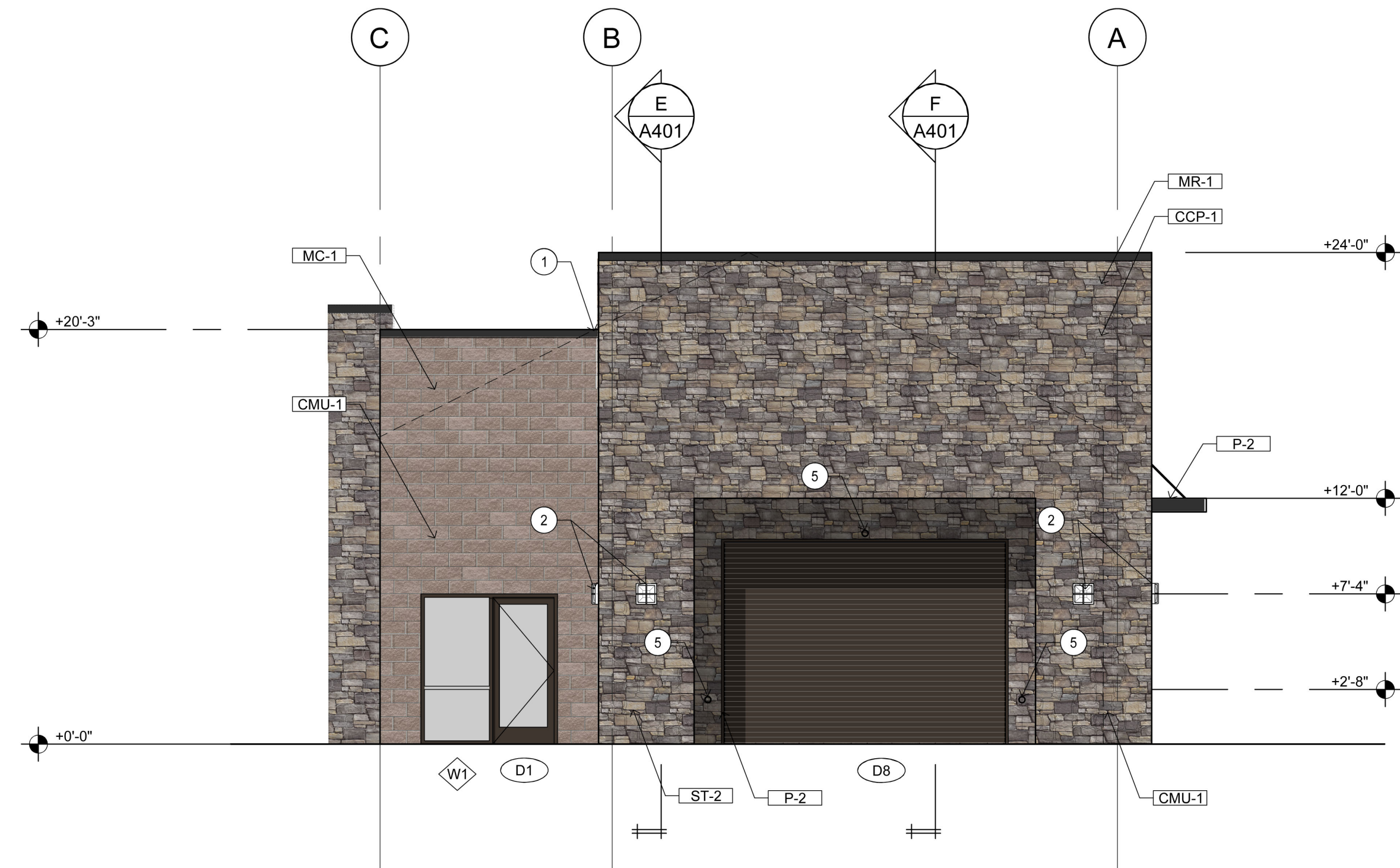
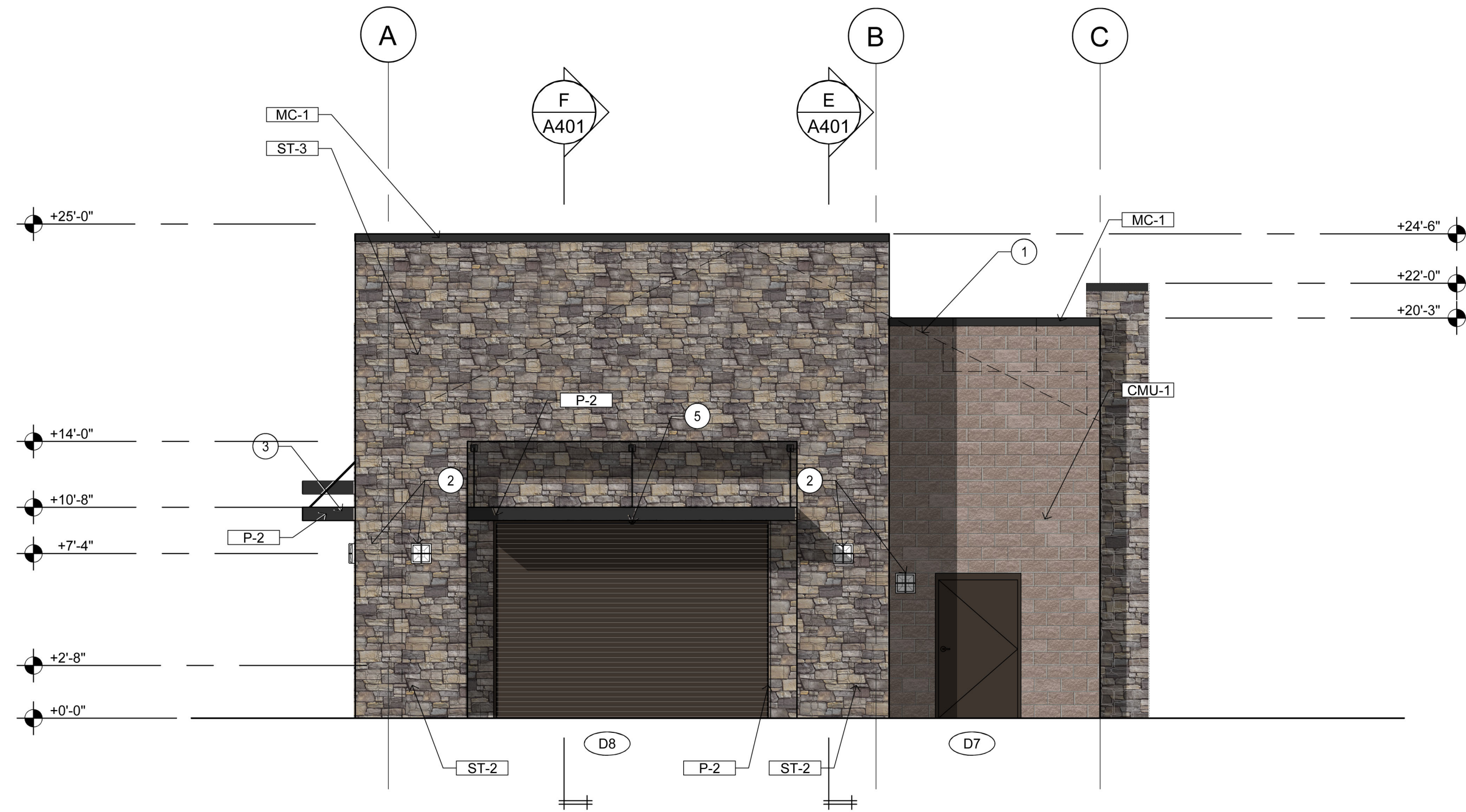
SCALE AS NOTED

DRAWN TMS

CHECKED JDE

SHEET NO

A301



WEST ELEVATION

4

3/16" = 1'-0"

EAST ELEVATION

3

3/16" = 1'-0"

EXTERIOR MATERIAL AND FINISH SCHEDULE

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MP-1	METAL PANEL (SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	
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H-1	VACUUM HOSE	VACUTECH	-	-	RED	-	
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	
ST-2	CULTURED STONE	ELDORADO	LUCERA	VARIES	TAN/STONE	-	
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES

N.T.S.

KEYNOTES

- ① METAL ROOF PITCH 6:12.
- ② EXTERIOR LIGHT FIXTURE "W". REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
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GENERAL NOTES

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CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: March 1, 2021
APPLICANT: Lisa White; *Boing US HoldCo, Inc.*
CASE NUMBER: Z2021-002; *Specific Use Permit (SUP) for Self-Service Carwash at 3611 N. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for *Self-Service Carwash and Auto Detail* on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [*Case No. P2016-004*] for Lots 1-6, Block A, Dalton Goliad Addition. This approval was followed by a final plat [*Case No. P2016-034*], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton Goliad Addition. On December 4, 2017, the City Council approved a replat [*i.e. Case No. P2017-062*] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (*i.e. Lot 4, Block A, Dalton Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [*SUP #S-171; Ordinance No. 17-39; Case No. Z2017-029*] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-024*] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [*i.e. Case No. P2020-048*] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey property. This conveyance plat established the subject property as Lot 5, Block A, Dalton Goliad Addition. The subject property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) to allow for a *Self-Service Carwash* on the subject property in accordance with the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 3611 N. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north and adjacent to the subject property is a vacant 1.033-acre parcel of land (*i.e. Lot 4, Block A, Dalton Goliad Addition*). Beyond this is a single-family residential subdivision, consisting of 30 single-family residential lots, and being identified as Harlan Park, Phase 2 Addition. Beyond this is Harlan Park, Phase 1 Addition, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Free Methodist Church, which is zoned Single-Family 16 (SF-16) District.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven convenience store, which are situated within the City limits and are zoned General Retail (GR) District.

West: Directly west of the subject property is a vacant 2.402-acre parcel of land (i.e. Lot 6, Block A, Dalton Goliad Addition). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (i.e. Lot 1, Block A, Rockwall School North Addition). This property is zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a ~4,164 SF *Self-Service Carwash*. The proposed carwash will consist of a single entrance tunnel, 15 vacuum stalls, and ten (10) parking spaces. Based on the concept plan, the carwash tunnel will be oriented so that the exit of the tunnel will be facing onto N. Goliad Street, with the building being setback ~101-feet from the public right-of-way. Staff should point out that the carwash will be located within 300-feet of both the Harlan Park Subdivision and Nebbie Williams Elementary School. Based on this staff is requesting that the applicant provide additional landscaping for sound attenuation. These have been included in the draft ordinance as operational conditions should the SUP be approved. The landscaping for the subject property will be considered at the time of site plan.

CONFORMANCE TO THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Self Service Car Wash* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, Subsection 02.03.(H)(4), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also provides the following requirements relating to regulating the land use:

- (a) Entrances and exits to the car wash shall not directly face any public right-of-way.
- (b) The carwash shall be set back a minimum of 50-feet from any street frontage.

In this case, the submitted concept plan indicates the exit of the carwash tunnel will be directly facing N. Goliad Street, which is not in compliance with the land use conditions required for this land use in the Unified Development Code (UDC). Staff should point out that a similar orientation for a *full-service carwash* was approved by the Planning and Zoning Commission along N. Goliad Street; however, staff is should note that in that case the proposed carwash was [7] situated in a Commercial (C) District with no adjacent residentially zoned or used land, [2] primarily situated behind a standalone structure that served as the point of sale, and [3] that incorporated heavy screening along the SH-205 frontage. In this case, no mitigating measures are being proposed. In addition, staff should point out that due to existing easements along SH-205, increased landscape screening cannot be provided in front of the tunnel in the landscape buffer.

According to Subsection 01.06(A), *Residential Adjacency Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he general objectives of residential adjacency standards are to preserve and protect the integrity, enjoyment and property values of residential neighborhoods within the City of Rockwall, through the establishment of standards for certain nonresidential uses that may impact surrounding residential land uses." This section goes on to state that the residential adjacency standards are to be applied to a carwash when it is adjacent to or within 150-feet of a residential district boundary. In this case, the applicant replatted the property (i.e. Case No. P2020-048) so that the carwash is more than 150-

feet from the adjacent residential zoning districts (*i.e.* ~152-feet from the Harlan Park Subdivision and ~173-feet from Nebbie Williams Elementary School); however, Subsection 01.06(D)(6)(a) this section of the Unified Development Code (UDC) grants the Planning and Zoning Commission the ability to require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of the proposed land use. Although the subject property is in compliance with the 150-foot distance requirement, staff has requested that the applicant provide additional landscape screening adjacent to the northern and western property lines to provide screening and sound attenuation. Staff should also point out that the applicant has provided staff a noise assessment for the carwash and vacuum bays. With this being said, the determination of if the landscaping is sufficient screening/sound attenuation remains a discretionary decision for the Planning and Zoning Commission and City Council.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District. Staff should note that the submitted building elevations do not appear to meet the minimum standards of the N. SH-205 Overlay (N. SH-205 OV) District and will need to be reviewed by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan.

STAFF ANALYSIS

The intent of the General Retail (GR) District is to provide limited retail and service uses for nearby residential neighborhoods. Development in these areas should not include intensive commercial land uses that carry large volumes of retail traffic. Developments should also be adequately buffered and screened from residential land uses. Since the General Retail (GR) District is located close to residential areas, the development standards are typically more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. All of these districts are intended to create a transition from the adjacent residential neighborhoods to less intense non-residential land uses. According to the *ITE Trip Generation Rates (9th Edition)* a carwash carries around 108 weekday trips, which makes it a medium to low traffic generator; however staff should point out that -- *with the exception of one (1) self-service car wash that was built in 1992 according to the Rockwall Central Appraisal District* -- no other carwashes (*self-service or full-service*) have been constructed in a General Retail (GR) District. The four (4) standalone carwashes (*i.e. Horizon Car Wash, Hacienda Car Wash, Speedy Bee Car Wash, and Carmel Car Wash*) are all located within a Commercial (C) District, which allows both a self-service and full-service carwash *by-right*. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 22, 2021, staff mailed 40 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Castle Ridge, Harlan Park, and Rockwall Shores Homeowner's Association (HOA), which are the only Homeowner's Associations (HOA's)/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Four (4) property owner notifications and one (1) email from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) Two (2) emails from property owners within the Homeowner's Association (HOA) notification area (*i.e. within the 1,500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for a *Self-Service Carwash* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Self-Service Carwash* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;

- (b) No outside display of merchandise or outside storage (*e.g. ice machine, propane cage, vending machines, and DVD rental kiosk*) shall be allowed on the *subject property*; with the exception of vending machines that are integrated into the façade of the building.
 - (c) Additional landscaping (*i.e. trees and shrubs*) shall be required adjacent to the vacuum bays to provide additional sound attenuation for the residential subdivision north of the *subject property*; and
 - (d) The exit tunnel of the *Self-Service Carwash* facility shall be screened from N. Goliad Street [*i.e. SH-205*] utilizing landscape screening (*e.g. trees, pampas grass, etc.*) and a berm; and,
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On February 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) allowing for a *Self-Service Carwash* subject to the conditions of approval and the following additional recommendations:

- (1) A masonry screening wall a minimum of six (6) feet in height be constructed adjacent to the northern property line of the subject property.
- (2) Three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) be incorporated in front of the carwash to screen the tunnel and vacuum bays adjacent to the eastern property line of the subject property.

This motion passed by a vote of 5-0, with Commissioners Moeller and Welch absent. Staff has incorporated these recommendations into the draft ordinance for the City Council's consideration.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	To Be Determined				
Subdivision	Dalton Goliad Addition	Lot	2	Block	A
General Location	NW Corner of Dalton RD and N Goliad Street (Lot North of Existing Development)				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	General Retail (SH205 Overlay)	Current Use	Vacant		
Proposed Zoning	General Retail (SH205 Overlay)	Proposed Use	Car Wash		
Acreage	0.89 AC	Lots [Current]	1	Lots [Proposed]	1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Rockwall 205-552 LLC	<input type="checkbox"/> Applicant	BOING US HOLDCO, INC.
Contact Person	Donald L. Silverman	Contact Person	Lisa White
Address	4622 Maple Ave #200	Address	6300 S Syracuse Way #205
City, State & Zip	Dallas, Tx 75219	City, State & Zip	Centennial, CO 80111
Phone	972-980-8807	Phone	214-208-0339
E-Mail	DSilverman@mqcompanies.com	E-Mail	Lisawhite@ICWG.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Donald L. Silverman [Owner] the undersigned, who stated the information on this application to be true and certified the following:

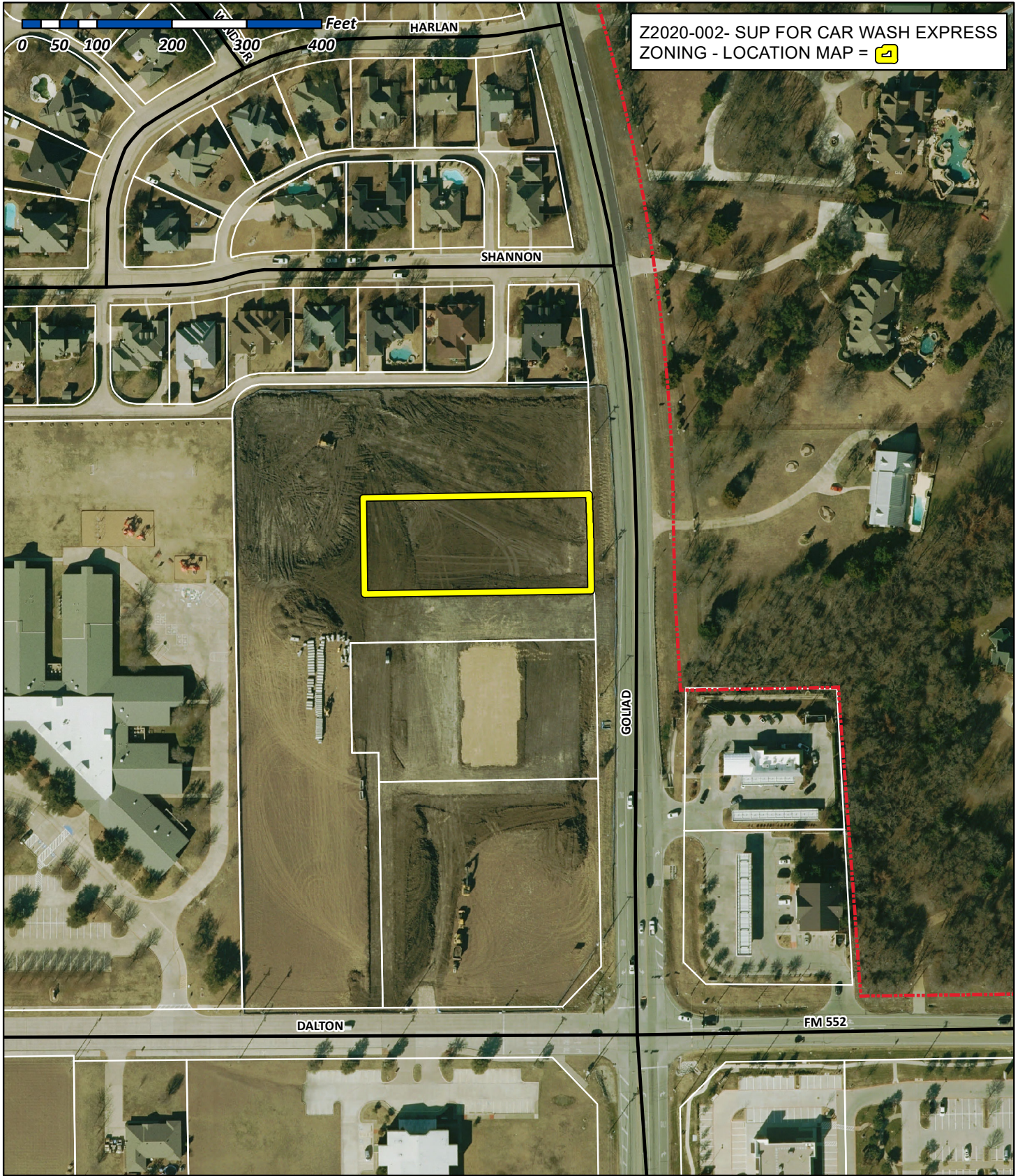
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of January, 2021. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested in response to a request for public information."

Given under my hand and seal of office on this the 14th day of January, 2021.

Owner's Signature

Notary Public in and for the State of Texas





Z2020-002- SUP FOR CAR WASH EXPRESS
 ZONING - LOCATION MAP = [yellow square icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-002]
Date: Friday, January 22, 2021 9:00:06 AM
Attachments: [Public Notice - Z2021-002.pdf](#)
[HOA Map - Z2021-002.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 29, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 9, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 16, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-002 SUP for a Full Service Car Wash & Auto Detail
Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
<http://www.rockwall.com/planning/>

 = RESPONSE RECEIVED

ERVIN RICHARD L
1155 W WALL ST STE 101
GRAPEVINE, TX 76051

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

DALTON RETAIL LLC
2954 ARBORIDGE COURT
FULLERTON, CA 92835

LIU LIRONG AND FENG XIN
3116 DEEP SPRINGS DR
PLANO, TX 75025

GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
3250 N GOLIAD
ROCKWALL, TX 75087

ALDI TEXAS LLC
3251 N GOLIAD
ROCKWALL, TX 75087

ERVIN RICHARD L
3260 N GOLIAD
ROCKWALL, TX 75087

DALTON RETAIL LLC
3301 N GOLIAD
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON ROAD
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE SUITE 200
DALLAS, TX 75219

MILAZZO DENNIS M SHELLY A
512 SHANNON DRIVE
ROCKWALL, TX 75087

WOLFE KENNETH & PAMELA
514 SHANNON DR
ROCKWALL, TX 75087

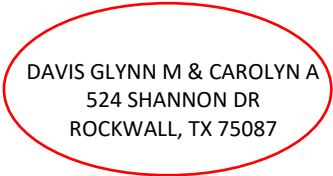
WAGONER LISA M
514 WINDSOR WAY
ROCKWALL, TX 75087

PRICE ELLIOTT & LATOYA DUNCAN
518 SHANNON DRIVE
ROCKWALL, TX 75087

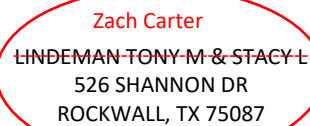
DRENNON CHRISTINA LYNN
520 SHANNON DR
ROCKWALL, TX 75087

HAN SANG HWA
522 SHANNON DR
ROCKWALL, TX 75087

BELL WILLIAM L JR & PAMELA S
523 SHANNON DR
ROCKWALL, TX 75087

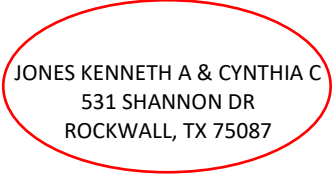
 DAVIS GLYNN M & CAROLYN A
524 SHANNON DR
ROCKWALL, TX 75087

YATES GLEN M & DORIS A
525 SHANNON DR
ROCKWALL, TX 75087

 Zach Carter
~~LINDEMAN TONY M & STACY L~~
526 SHANNON DR
ROCKWALL, TX 75087

MCDANIEL DREW & TYLER
527 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
528 SHANNONDR
ROCKWALL, TX 75087

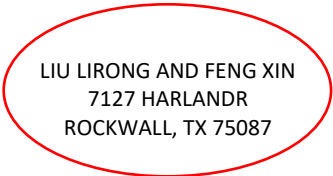
 JONES KENNETH A & CYNTHIA C
531 SHANNON DR
ROCKWALL, TX 75087

SANFORD DAVID A & ANNETTE F
532 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
609 S GOLIAD ST #2498
ROCKWALL, TX 75087

TRAN STEVE & CATHERINE
7124 HARLAN DRIVE
ROCKWALL, TX 75087

BENNETT R LANGDON & LINDA
7125 HARLAN DR
ROCKWALL, TX 75087

 LIU LIRONG AND FENG XIN
7127 HARLANDR
ROCKWALL, TX 75087

MASSEY WILLIAM C JR AND LACY
7128 HARLAN DR
ROCKWALL, TX 75087

GREEN DORIS M
7129 HARLAN DR
ROCKWALL, TX 75087

VINES THOMAS & SHERRY
7132 HARLAN DR
ROCKWALL, TX 75087

FRYER CRAIG RYAN
7133 HARLAN DRIVE
ROCKWALL, TX 75087

MARTINEZ MICHELE L
7134 HARLAN DRIVE
ROCKWALL, TX 75087

WILLIAMS BUCK AND JESSICA
7135 HARLAN DRIVE
ROCKWALL, TX 75087

KELLY CASEY & CRYSTIE
7136 HARLAN DR
ROCKWALL, TX 75087

DOSS JAMES B & JENNIFER
7137 HARLAN DR
ROCKWALL, TX 75087

HORTON BILL D & JOYCE
7138 HARLAN DR
ROCKWALL, TX 75087

FAVRE JOSH GABRIEL AND TINA MARIA
7139 HARLAN DRIVE
ROCKWALL, TX 75087

RUNNELS NEVILLE J & JOHANNA E REVOCABLE
LIVING TRUST
NEVILLE J & JOHANNA E RUNNELS CO TRUSTEES
7140 HARLAN DRIVE
ROCKWALL, TX 75087

GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
ATTN GARSON C SOE 1630 RIVIERA AVE
WALNUT CREEK, CA 94596

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-002: Specific Use Permit for a Car Wash

Hold a public hearing to discuss and consider a request by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for Full Service Car Wash and Auto Detail on a 0.89-acre tract of land identified as a portion of Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The carwash is too noisy to abut a residence. It needs to be in a commercial area like other carwashes in the city

Name:

Address:

Aerelle Johanna Runnels
7140 Harlan Dr., Rockwall, TX

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Director of Planning & Zoning



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- I am opposed to the request for the reasons listed below.

Empty text input field for comments.

Empty text input field for comments.

Name:

Address:



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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

→ DO NOT APPROVE

TRAFFIC IS TERRIBLE ON 205/GOLIAD AS IS. THIS WILL CREATE EVEN MORE, AS THE NEIGHBORHOOD IS TRYING TO GET HOME. I DO NOT WANT ALL THOSE CHEMICALS RIGHT NEXT TO MY HOUSE. DON'T WANT PEOPLE CONGREGATED IN BACK YARD

Name: ZACH CARTER

Address: 526 SHANNON DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2021-002: Specific Use Permit for a Car Wash

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

too much traffic + too close to residential neighborhoods.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: [REDACTED]
Sent: Saturday, February 13, 2021 2:22 PM
To: Planning
Subject: Case No. Z2021-002 comments

Follow Up Flag: Follow up
Flag Status: Flagged

To whom it may concern,

My name is Lirong Liu and I am the owner of the property at 7127 Harlan Dr, Rockwall TX 75087. I am writing to voice my strong opposition to the request of specific use permit for a car wash Case No. Z2021-002. The use of the land for a car wash doesn't align with the interest of the properties. I have multiple concerns. 1. With the Nebbie Williams Elementary school just blocks away, the proposed car wash can It will bring unnecessary traffic and noise. It is disturbing to the school and parents. 2. The current lot is insufficient. It doesn't not provide enough parking or circulation. 3. The neighborhood will be adversely impacted by additional cars lingering / backing up, making u-turns etc, especially considering the school near by. This will inevitably impact the property value.

Best,
Lirong Liu

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From: Dennis Dayman <[REDACTED]>
Sent: Monday, January 25, 2021 10:19 PM
To: Planning
Cc: Jennifer Dayman
Subject: Z2021-002 - SUP for Car Wash USA Express & Take 5 Oil Change

We are filing this letter in protest AGAINST Project Number: Z2021-002; Project Name: SUP for Car Wash USA Express & Take 5 Oil Change.

We can definitely understand the need for a Specific Use Permit for this project, given this property is currently zoned as a General Retail (GR) district. What becomes more difficult to understand, though, is the actual end result of this project. In reviewing the documents provided as Public Notice, Neighborhood Notification Program Letter, and the City's Project Comments, we are left wondering about the full scope of this project because of potentially mismatched information.

For example:

- In the Project Comments, the Project Name is "SUP for CarWash USA Express and Take 5 Oil Change."
- In Section I.1 of the same document, it references a request for the approval of a "Specific Use Permit for 3611 N. Goliad Street for a Full Service Car Wash and Auto Detail." (No mention of an Oil Change business.)
- In the Neighborhood Notification Program Letter, it lists Z2021-002 as "SUP for Full Service Car Wash & Auto Detail." (Again, no mention of an Oil Change business.)
- In the Public Notice, Case No, Z2021-002 is listed as an "Specific Use Permit for a Car Wash." (No mention of an Oil Change business, and in this case it appears that the higher standard and expectation of a full-service car wash and auto detailing has also been dropped.)

While we understand that the intention of all of these might indeed be the same, according to the website for Car Wash Express USA, the majority of their locations, including their four closest locations (Rowlett, Terrell, DeSoto, and Grand Prairie) offer only exterior car washes with vacuum bays for self-service. So, our unresolved questions would be these: What IS this actual project? Will it really be a full-service car wash with auto detailing? Will there be an oil change business, too? If we're getting a regular drive-through car wash with do-it-yourself vacuum bays, is this really a special enough project to warrant a zoning change?

In addition to our first example of potential mismatching information, we'd also like to mention this conflicting information:

- In the Project Comments, section I.3 (A)(2), there is a directive that there should be no outside display of merchandise (e.g. vending machines) allowed on the subject property.
- In the North Elevation provided for the project, #4 is specifically listed as a vending machine.

Of course, this is just a small detail in what we believe is an entirely unnecessary project, however, all of these small details that appear to be conflicting raise red flags to us about this project from the start.

Beyond all of the informational details that have created doubt, we are most opposed to this project for the following reasons:

- We are concerned about the incredibly close proximity (according to Google Maps, less than a football field) of these types of businesses to the playground and open spaces at Nebbie Williams Elementary.
- We are concerned about the noises, smells, and potential toxins that could impact not only the public elementary school, but also the nearby neighborhood. (This must be a reasonable concern, given the Project Comments section I.3(A)(3) requires additional landscaping to provide sound attenuation for the residential

subdivision. Related: it's surprising to us that this 'noise barrier' was not extended to the area adjacent to the school.)

- We are concerned for the standard of development in this area.
- We are concerned with adding more traffic to the already busy intersection at Dalton Road and 205.
- We are concerned with the inconsistent messaging and lack of clarity on the business plan for this property.

We feel that a business of this type should be located in more commercial or industrial areas of our city, especially near the I-30 corridor. Roads that are main arteries to the city seem more suitable for auto care facilities than this section of road that is primarily residential.

According to our understanding, a Specific Use Permit is required because city code recognizes that some areas may be suitable for this use, while others will not be. It is our personal opinion that this specific area is not suitable for a car wash (whether full-service or not), an oil change business, or any other type of auto care facility.

Previously, the City Council and Planning & Zoning had rejected Z2018-041 - SUP FOR FIRESTONE COMPLETE AUTO CARE in this same area, and it is our hope that you will again do that again in this case.

Thank you for your time and consideration -

Jennifer & Dennis Dayman
519 Cellars Court
Rockwall, TX 75087

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Gamez, Angelica

From: GammieX4 Callaway <[REDACTED]>
Sent: Tuesday, January 26, 2021 12:21 AM
To: Planning
Subject: SUP request Z2021-002
Attachments: Car Wash Oil Change SUP Z2021-002.docx

January 25, 2021

City of Rockwall, Texas
Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

RE: Z2021-002
SUP for Car Wash USA Express and Take 5 Oil Change

To the Planning and Zoning Commission:

My husband and I live at 517 Cellars Ct, Rockwall, TX 75087 (Harlan Park Phase 1). We are opposed to the referenced SUP (Z2021-002) proposing zoning approval of Car Wash USA Express and Take 5 Oil Change at 3611 N. Goliad.

First, we are confused by the Project name – P/Z agenda refers to SUP Z2021-002, full service car wash and auto detail. From review of the P/Z website, the neighborhood SUP request notification reflects **a car wash**, not a *full service car wash and auto detail*. Only in examination of the site plan documents, is an oil change facility noted as the title. We are not able to determine the location of the oil change segment from the site drawing or the elevation drawings. To us, it does not appear that an oil change business is a part of this SUP. It is noted on the site drawing that “O’Reilly Auto Parts development by others” for the remainder of Lot 2, Block A of Dalton Goliad Addition, CAB J, Slide 17. If it is not, the drawing title is quite deceptive. So our initial question is “WHAT DOES THIS PROJECT ENTAIL”? Is this SUP for a full service car wash and auto detail concept, for a car wash only, or for a car wash (full service or not) and an oil change facility?

Currently, this property is zoned General Retail (GR). This zoning requires a Specific Use Permit (SUP) for this particular type of retail to be located at this address. This raises concerns from our family, due to the “out the back door” proximity to Nebbie Williams Elementary School (public school) and for the standard of development in this area. Our primary concerns revolve around the chemicals and odors this type of establishment (car wash/ car wash and oil change) involves. Children and teachers should not be exposed to those odors and toxins every day on the adjoining playground. And what about our neighbors whose property backs up to this property? We hope they are in total opposition to this SUP request. Since this does require a SUP approval, we recognize, as the city does, that some areas may be more suitable than others for retail purposes. We are of the mindset that this specific area is not suitable for a car wash/oil change business. We strongly feel this type of business should be located in a more commercial area. We realize commercial lot availability is at a premium in our no longer small town, however, the residuals from this type of business have no place in this general retail (GR) area that borders schools and residential areas.

If you, Planning and Zoning, our city representatives, approve this SUP request, we plead that a substantial mature landscape line of sight barrier be mandated to provide and protect privacy to the adjacent school and neighboring homes.

Also it bears mentioning that access and egress will only put additional strain on the clog of traffic already at Goliad (Hwy 205) and Dalton Rd/FM552.

SuLaine and Wendell Callaway

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Miller, Ryan

From: Ryan Phelan <[REDACTED]>
Sent: Tuesday, February 23, 2021 1:40 PM
To: Planning
Subject: Z2021-002 SUP for Self Service Car Wash & Auto Detail - Opposition

Afternoon.

I would like to submit my comments for the upcoming meeting in opposition to the SUP for Z2021-002 SUP for Self Service Car Wash & Auto Detail.

We do not need that type of property in the neighborhood. Realistically, a self-service car wash degrades the neighborhood, not enhance it. I cannot imagine that the homeowners on the other side of Goliad are pleased with this SUP.

The north end of town desperately needs more businesses to draw people to the north end. Restaurants, bars, shops – that's what's needed. Not car washes, tire repair, nail salons or pizza joints.

We have a fairly growing area up here that is more affluent and frankly, investment is needed that does not look like a car wash. That type addition does not add value to the surrounding property. What we need is leadership from the City to drive investment up here.

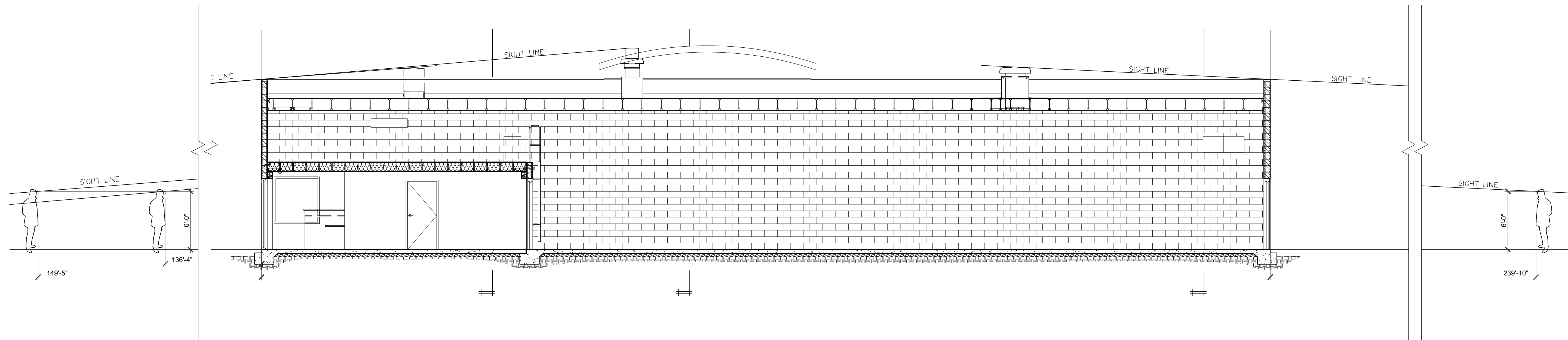
This SUP should be opposed.

Thanks for your time.

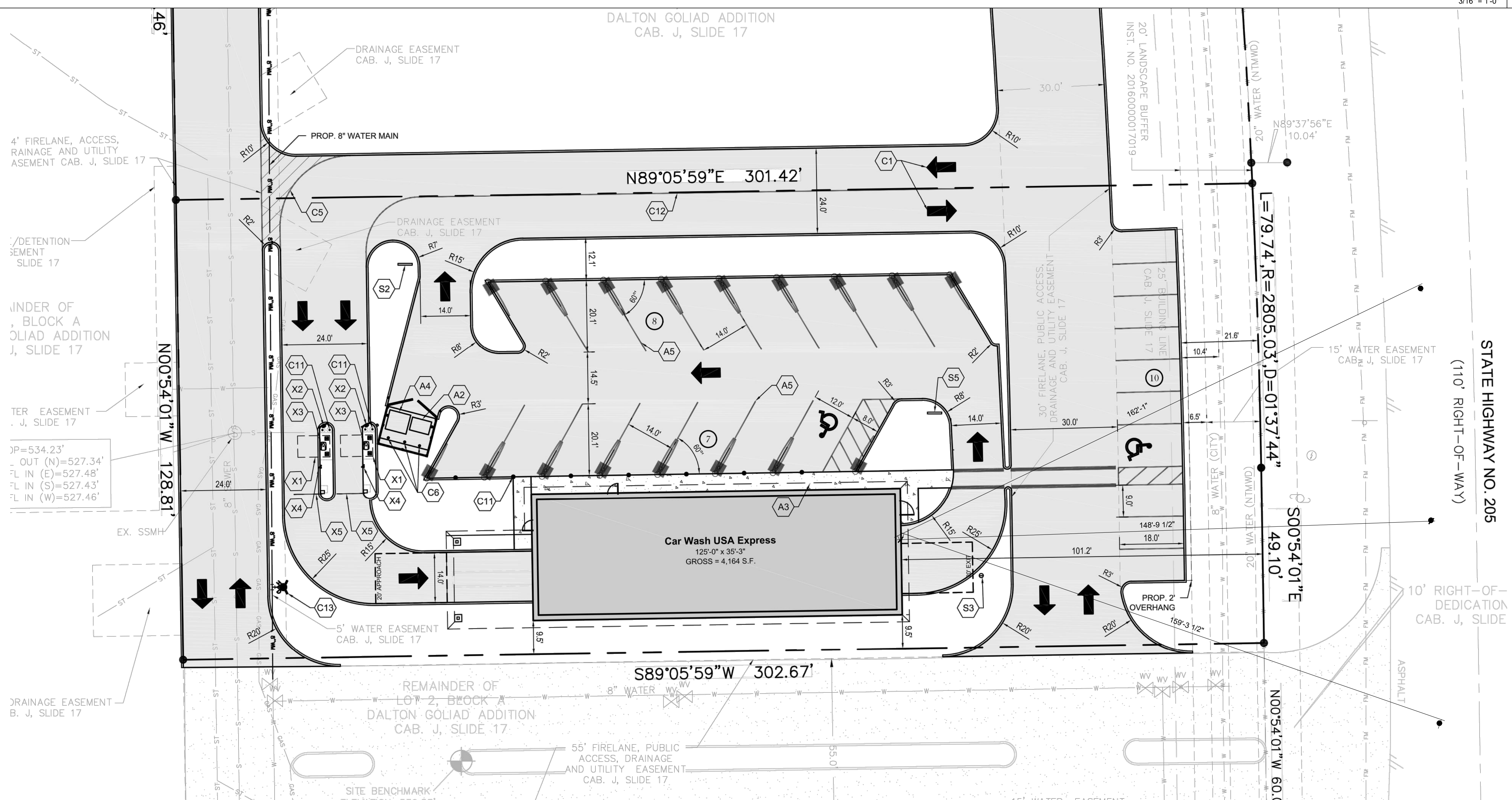
Ryan Phelan
782 Bordeaux Drive
[REDACTED]

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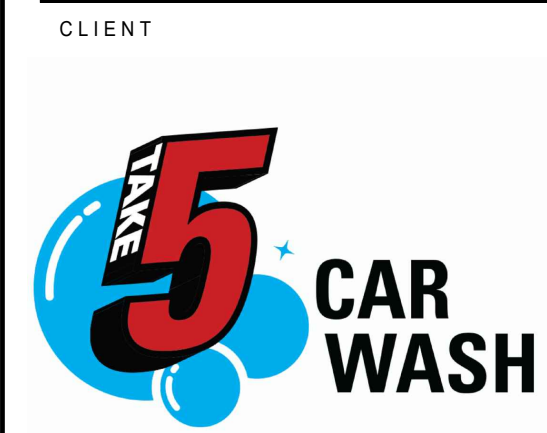
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SIGHT LINE STUDY 1
3/16" = 1'-0"



SIGHT LINE STUDY 2
3/16" = 1'-0"



DELTA	DESCRIPTION	DATE
1 X		XX-XX-XX
2 X		XX-XX-XX
3 X		XX-XX-XX
4 X		XX-XX-XX
5 X		XX-XX-XX
6 X		XX-XX-XX

TAKE 5 CAR WASH

NORTH GOLIAD STREET
ROCKWALL, TX

ARCHITECT:
NEPTUNE
DESIGN STUDIO

ENGINEER:

STAMPS

SHEET TITLE
EXTERIOR ELEVATIONS
PROJECT NUMBER
20-018

DATE: 01.14.2021
SCALE: AS NOTED
DRAWN: TMS
CHECKED: JDE
SHEET NO.

A300A



DATE	DESCRIPTION
XX-XX-XX	
XX-XX-XX	
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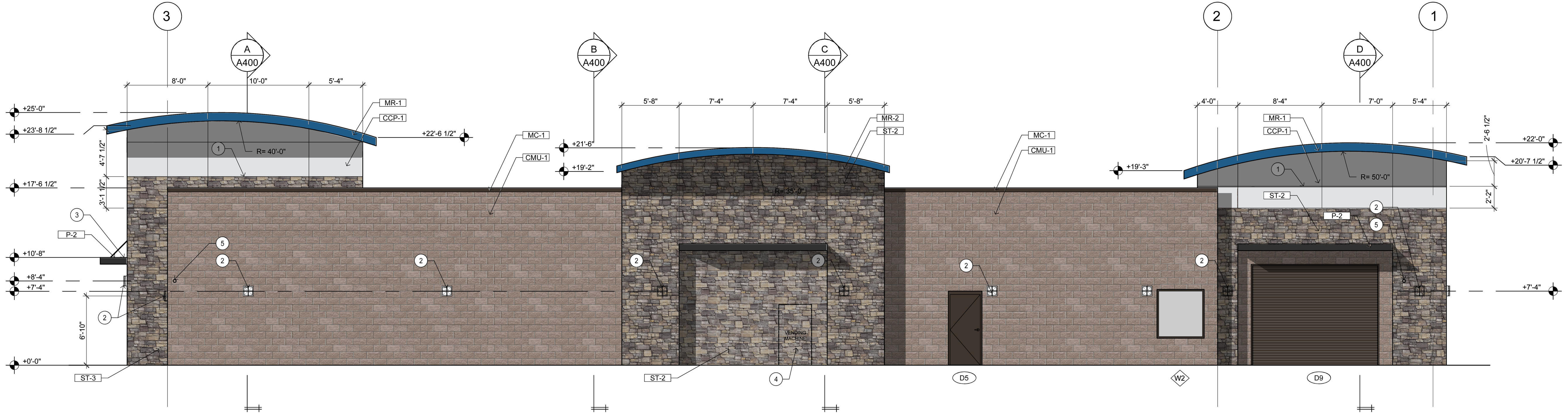
TAKE 5 CAR WASH
 NORTH GOLIAD STREET
 ROCKWALL, TX

ARCHITECT:
NEPTUNE
 DESIGN STUDIO
 ENGINEER:

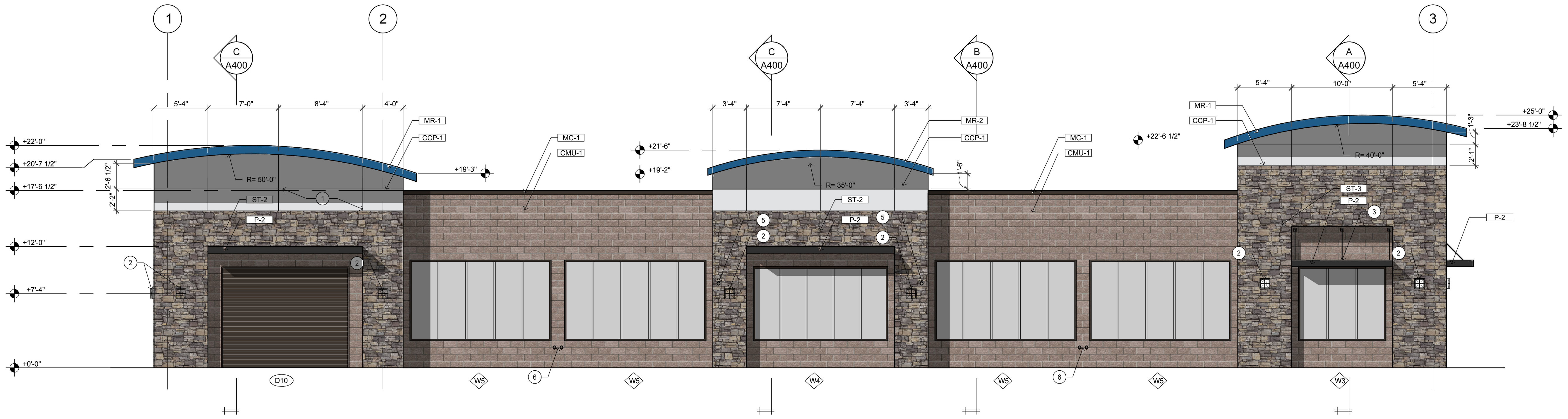
STAMPS

SHEET TITLE
EXTERIOR ELEVATIONS
 PROJECT NUMBER
20-018
 DATE: 01.14.2021
 SCALE: AS NOTED
 DRAWN: TMS
 CHECKED: JDE
 SHEET NO

A300



NORTH ELEVATION
3/16" = 1'-0" 1



SOUTH ELEVATION
3/16" = 1'-0" 2

EXTERIOR MATERIAL AND FINISH SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	SIZE	COLOR	FINISH	REMARKS
CMU-1	CONCRETE MASONRY UNIT	ESHELON	SPLIT FACE	8X8X16	APACHE BROWN	-	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
CCP-1	COMMERCIAL CEMENT PLASTER (STUCCO)	LAHABRA PAREXUSA	-	-	P-1	SAND	
MR-1	METAL ROOFING	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MR-2	METAL ROOFING (ARCHED COPING)	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	
MP-1	METAL PANEL(SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	
MC-1	METAL COPING	METAL-ERA	PERMA-TITE	-	DARK BRONZE	TAPERED	
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6539 SOOTHING WHITE	SEE REMARKS	WALLS: PAINT SPECIFICATIONS #1
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6991 BLACK MAGIC	SEE REMARKS	CANPOISES: PAINT SPECIFICATION #5
F-1	SHADE FABRIC - VACUUM ARCHES	POLYFAB	COMTEX	-	865227 RED	-	DOORS AND FRAMES: PAINT SPECIFICATION #5
PC-1	POWDER COAT - VACUUM ARCHES	CARDINAL PAINTS VIA VACUTECH	-	-	SILVER METALLIC 30 GLOSS T353-GR06	-	RESPONSIBILITY
PC-2	POWDER COAT - TSS CANOPY	TSS	-	-	BLUE	-	FACTORY POWDER COATED
H-1	VACUUM HOSE	VACUTECH	-	-	RED	-	
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	
ST-2	CULTURED STONE	ELDORADO	LUCERA	VARIES	TAN/STONE	-	
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES
N.T.S

- KEYNOTES**
- COMMERCIAL CEMENT PLASTER CONTROL JOINT, TYPICAL.
 - EXTERIOR LIGHT FIXTURE "W". REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
 - PAINTED STEEL CANOPY.
 - VENDING MACHINE. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
 - SECURITY CAMERA. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO E301 FOR CONDUIT REQUIREMENTS
 - ROOF DRAIN LEADER AND OVERFLOW OUTLETS

- GENERAL NOTES**
- CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
 - BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
 - REFER TO E301 FOR SECURITY PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
 - UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON S100.
 - REFER TO DOOR AND WINDOW SCHEDULE ON A802 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

CLIENT



DATE	DESCRIPTION	DELTA
XX-XX-XX		1 X
XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

TAKE 5 CAR WASH

NORTH GOLIAD STREET
ROCKWALL, TX

ARCHITECT:

NEPTUNE
DESIGN STUDIO

ENGINEER:

STAMPS

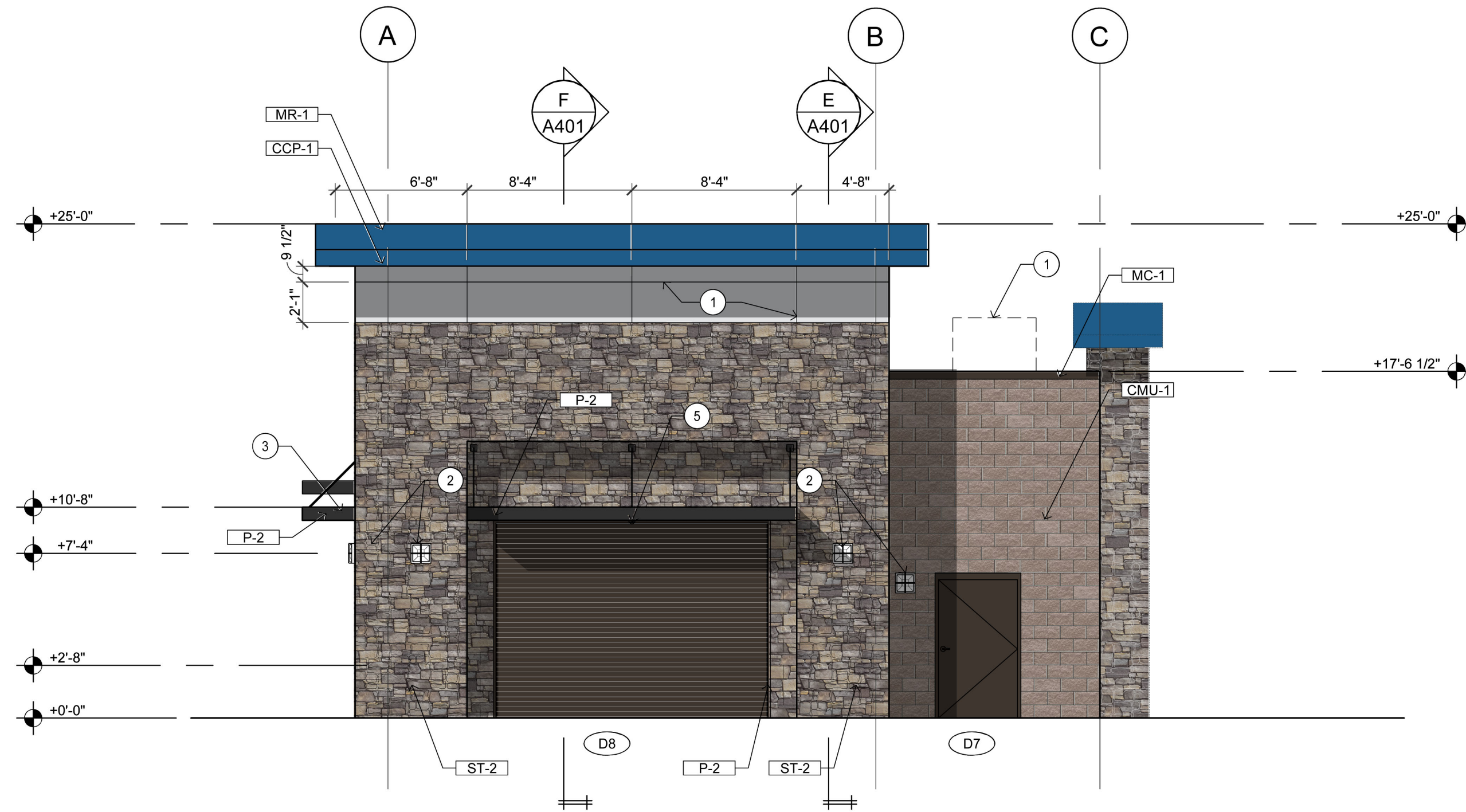
SHEET TITLE

EXTERIOR
ELEVATIONS

PROJECT NUMBER
20-018

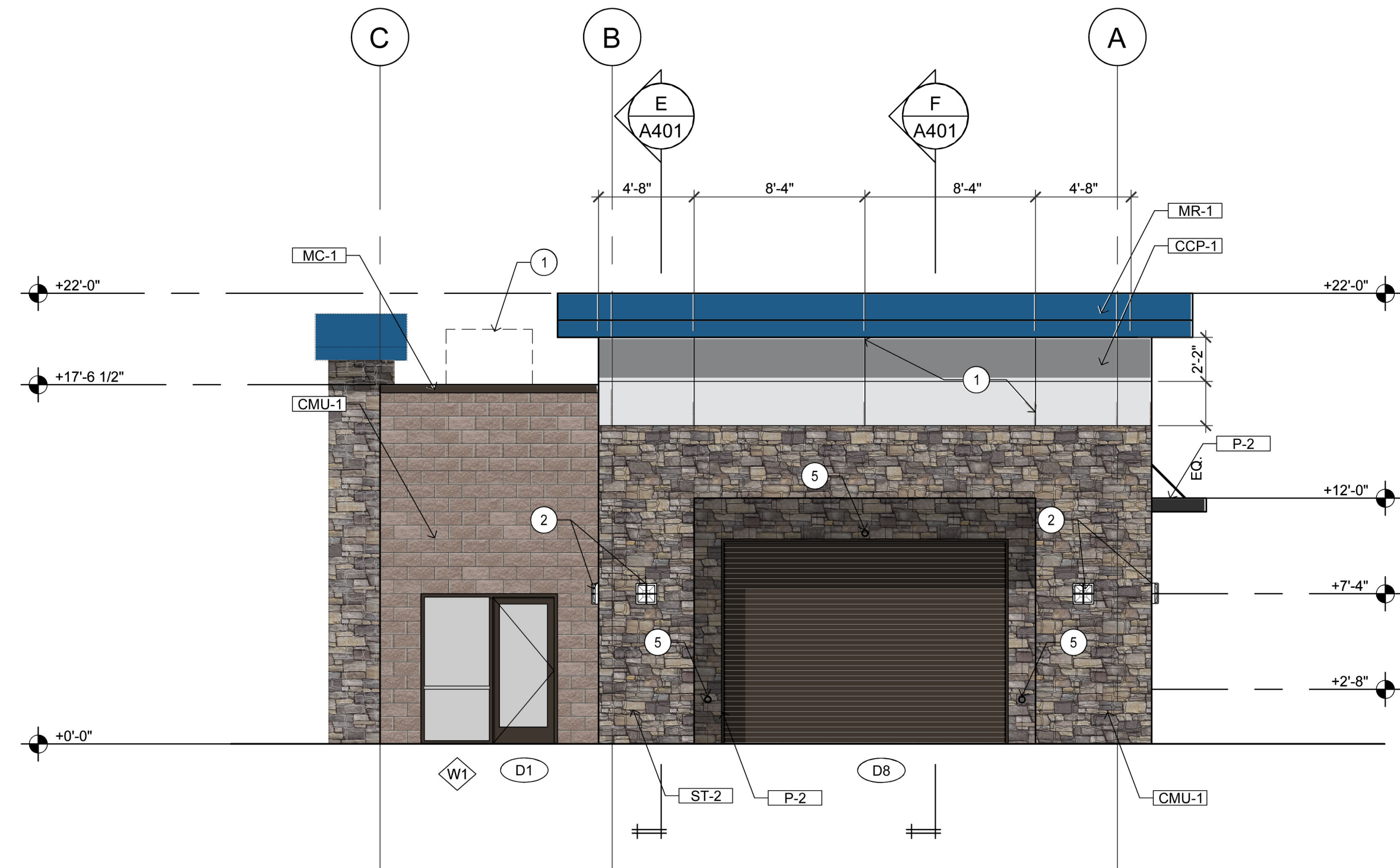
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SHEET NO

A301



WEST ELEVATION 4

3/16" = 1'-0"



EAST ELEVATION 3

3/16" = 1'-0"

EXTERIOR MATERIAL AND FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL/STYLE	SIZE	COLOR	FINISH	REMARKS
CMU-1	CONCRETE MASONRY UNIT	ESHOLON	SPLIT FACE	8X8X16	APACHE BROWN	-	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
CCP-1	COMMERCIAL CEMENT PLASTER (STUCCO)	LA HABRA PAREX USA	-	-	P-1	SAND	-
MR-1	METAL ROOFING	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	-
MR-2	METAL ROOFING (ARCHED COPING)	FIRESTONE	UNA-CLAD	-	ELECTRIC BLUE	-	-
MP-1	METAL PANEL (SOFFIT)	FIRESTONE	UNA-CLAD UC-501	-	ELECTRIC BLUE	-	-
MC-1	METAL COPING	METAL-ERA	PERMA-TITE	-	DARK BRONZE	-	TAPERED
P-1	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6539 SOOTHING WHITE	SEE REMARKS	WALLS: PAINT SPECIFICATIONS #1
P-2	EXTERIOR PAINT	SHERWIN WILLIAMS	PER SUBSTRATE	-	SW6991 BLACK MAGIC	SEE REMARKS	CANPOIES: PAINT SPECIFICATION #5 DOORS AND FRAMES: PAINT SPECIFICATION #5
F-1	SHADE FABRIC - VACUUMARCHES	POLYFAB	COMFEX	-	865227 RED	-	RESPONSIBILITY
PC-1	POWDER COAT - VACUUMARCHES	CARDINAL PAINTS VIA VACUTECH	-	-	SILVER METALLIC 30 GLOSS T353-GR06	-	FACTORY POWDER COATED
PC-2	POWDER COAT - TSS CANOPY	TSS	-	-	BLUE	-	FACTORY POWDER COATED
H-1	VACUUMHOSE	VACUTECH	-	-	RED	-	-
ST-1	STONE WALL CAP	MODERN PRE-CAST	FLAT COPING	8"	CHARCOAL	-	-
ST-2	CULTURED STONE	ELDORADO	LUCERA	VARIES	TAN/STONE	-	-
ST-3	NATURAL STONE	TBD	TBD	12"	NATURAL	-	-

REFER TO SHEET A803 FOR FINISH SPECIFICATIONS

EXTERIOR FINISHES

N.T.S

KEYNOTES

- COMMERCIAL CEMENT PLASTER CONTROL JOINT, TYPICAL.
- EXTERIOR LIGHT FIXTURE 'W'. REFER TO E500 FOR LIGHT FIXTURE SCHEDULE.
- PAINTED STEEL CANOPY
- VENDING MACHINE. FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
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GENERAL NOTES

- CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
- BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFIRMATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
- REFER TO E301 FOR SECURITY PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
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- REFER TO DOOR AND WINDOW SCHEDULE ON A802 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.



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March 11, 2008

Reference: BAEN00286072B

Mr. Bob MacNeil
MacNeil Wash Systems
423 Welham Road,
Barrie, Ontario L4N 8Y4

**Noise Assessment – Car Wash System
623 Yonge Street / Big Bay Point Road
Barrie, Ontario**

Dear Mr. MacNeil:

1. Introduction

At the request of PetroCanada and MacNeil Wash Systems (MacNeil), Trow Associates Inc. (Trow) performed a noise assessment of the car wash system located at 623 Yonge Street junction with Big Bay Point Road in Barrie, Ontario. The assessment was performed on August 27, 2007.

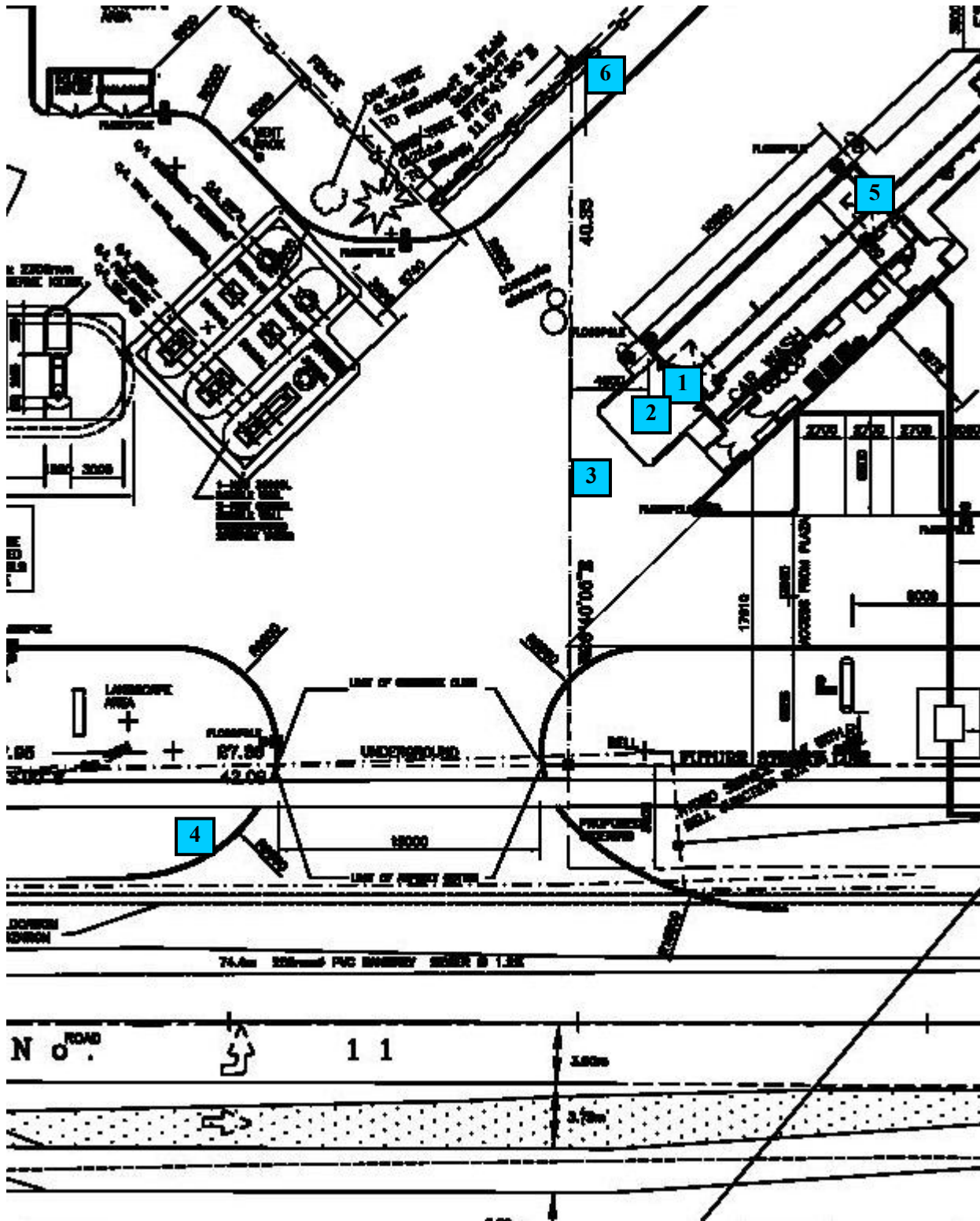
Trow understands that the assessment is required to compare a car wash system using standard dryer fans with a system equipped with MacNeil dryer fans. The assessment protocol evaluated the total noise (dBA weighting) at the site with the car wash system dryer and conveyor components running and heat saver doors open. Measurements were also collected with the car wash system shut down to assess the level of background noise at the site.

2. Equipment and Assessment Protocol

Sound pressure level was measured by a Quest 2900 Integrating Sound Level Meter (S/N CDF04002). Measurement of total noise was made using dBA weighting.

The microphone was positioned in an upright position, 1 m above ground level for all measurements. Measurements were collected from locations in front of the exit to the car wash at distance of 0 m (Location 1), 4.6 m (Location 2), 9.1 m (Location 3), and 36.6 m (Location 4). Additional measurements were made at the entrance to the car wash (Location 5) and at 90° to the car wash system at the fenceline of the property (Location 6). Monitoring locations are shown in Figure 1.

Figure 1: Monitoring Locations



1 Noise Measurement Location

The car wash was closed to commercial traffic throughout the monitoring period. The adjacent PetroCanada gas bar was in operation during the measurement period, resulting in commercial traffic using the roadway directly in front of the exit to the car wash (see Appendix 1: Site Plan).

Extraneous noise sources at neighbouring facilities were outside the control of PetroCanada, MacNeil and Trow. Trow considers that the primary source of extraneous noise was due to road traffic on Yonge Street. The impact of noise arising from traffic on Yonge Street was assessed by conducting a limited traffic survey immediately following completion of noise measurements. Data from the traffic survey has been interpreted using the Ontario Road Noise Analysis Method for Environment and Transportation (ORNAMENT) developed by the Ontario MOE.

3. Background Noise Assessment

Trow’s traffic survey indicated the following traffic volumes on Yonge Street to the south-east of the junction between Yonge Street and Big Bay Point Road in Barrie:

Table 1: Traffic Survey Data

Vehicle Type	Vehicle Count (14:20 – 14:40)	Vehicle Volume (vehicles / hour)	Vehicle Percentage by Type	Truck Type Percentage
Cars	350	1050	94	-
Light Trucks	4	12	1	17
Heavy Trucks	19	57	5	83

The anticipated background noise level arising from Yonge Street at each noise monitoring location was assessed using ORNAMENT. Basing calculations on the posted speed limit of 50 km/hr; an hourly traffic volume of 1000 vehicles / hour (closest ORNAMENT category to actual vehicle volume); 6% truck volume; 12.5% medium trucks (closest ORNAMENT category to actual truck percentage); and, noise attenuation due only to distance from source for a reflective surface:

Table 2: Calculated Background Noise at Monitoring Locations due to Yonge Street Traffic

Location ID	Distance from Source (m)	Calculated Background Noise (dBA)
1	40.5	64.2
2	38.5	64.2
3	36.0	64.2
4	15.0	68.5
5	52.0	63.3
6	58.0	62.5

4. Monitoring Results

Equivalent noise levels (L_{eq}) and peak noise levels at each monitoring location under specified conditions are provided in tabular form below.

Table 3: Noise Monitoring Results

Time	Location	Conditions	Leq (dBA)	Peak (dBC)
11:24 – 11:44	2	Background, Dryer off	63.0	98.4
11:45 – 12:05	3	Background, Dryer off	62.2	101.2
12:06 – 12:26	4	Background, Dryer off	68.1	104.6
12:32 – 12:52	2	Dryer and conveyor on, heat saver doors open	80.8	102.0
12:55 – 13:15	3	Dryer and conveyor on, heat saver doors open	73.2	101.7
13:17 – 13:37	4	Dryer and conveyor on, heat saver doors open	68.4	101.8
13:38 – 13:43	1	Dryer and conveyor on, heat saver doors open	92.1	109.8
13:44 – 13:49	5	Dryer and conveyor on, heat saver doors open	87.8	106.5
13:50 – 13:55	6	Dryer and conveyor on, heat saver doors open	58.5	91.7
13:58 – 14:04	6	Dryer on, heat saver & overhead doors closed	55.7	91.5
14:05 – 14:09	6	Background, Dryer off	56.9	91.7

5. Predicted Impact of Noise Arising from Car Wash

The theoretical impact of sound at a receptor arising from a distant source can be calculated following procedures detailed in CSA Z107.55 Recommended Practice for the Prediction of Sound Levels Received at a Distance from an Industrial Plant. The standard recommends that sound levels be predicted using the following equation:

$$L_p = L_w + DI - DIS - A - \Delta$$

Where: L_p = Sound pressure level at receiving location

L_w = Source sound power level

DI = Directivity Index

DIS = Effect of geometric spreading

A = Atmospheric absorption

Δ = Barrier effect

There are presently no barriers between the exit of the car wash and Yonge Street and the distance is small (<100 m); the impact of atmospheric absorption and the barrier effect are therefore considered negligible. Taking the sound pressure level reading of 92.1 dBA at the entrance to the car wash as equivalent to the source sound power level (L_w) and the sound to have a quarter sphere radiation pattern due to the surface configuration of car wash exit intersecting with the ground gives the following calculation of predicted sound level at Monitoring Locations 2 – 4:

Table 4: Predicted Sound Levels

Receptor Location	L_w	DI	DIS	L_p	Leq
2	92.1	6	21.2	76.9	80.8
3	92.1	6	27.2	70.9	73.2
4	92.1	6	39.3	58.8	68.4

6. Discussion

The measured background noise level at Monitoring Location 4 (68.1 dBA), the closest location to Yonge Street is in good agreement with the value predicted by ORNAMENT (68.5 dBA) using the traffic survey data obtained immediately following noise measurements. The measured background levels of 63.0 and 62.2 dBA at Monitoring Locations 2 and 3 respectively (between the car wash exit and Yonge Street) are also in good agreement with the predicted value of 64.2 dBA for both locations. In contrast, the measured background noise level of 56.9 dBA at Monitoring Location 6 (adjacent to the property line to the north west of the car wash) is significantly lower than the predicted value of 62.5 dBA. The lower measured value suggests that the car wash shields the property line from noise arising from a segment of Yonge Street.

The measured sound levels of 80.8 and 73.2 dBA at Monitoring Locations 2 and 3 respectively are in reasonable agreement with the predicted values of 76.9 and 70.9 dBA respectively. The observed differences may be due to impact of background noise, underestimation of the source power level, and / or underestimation of the directivity index. The car wash design may be expected to give rise to a greater directivity index than predicted.

The measured sound level of 68.4 dBA at Monitoring Location 4 is significantly greater than the predicted value of 58.8 dBA, but consistent with the predicted and measured sound level due to road traffic on Yonge Street indicating that road traffic is the dominant noise source at this location.

The measured sound level at the car wash entrance of 87.8 dBA is below that at the exit (92.1 dBA) as anticipated given that the dryers, considered to be a primary noise source, are located towards the exit of the car wash. The sound level is however significant indicating a strong directivity index at the entrance as well as at the exit of the car wash.

The measured sound level (58.5 dBA) at Monitoring Location 6, at the property line to the north west of the car wash, is greater than the measured background sound level (56.9 dBA) but below the predicted background sound level (62.5 dBA) due to road traffic on Yonge Street. The results suggest that the reduction of noise level due to the screening of road traffic more than off-sets the noise arising from operation of the car wash.

7. Conclusions

The noise emissions from the car wash located on the PetroCanada facility at the junction of Yonge Street and Big Bay Point Road in Barrie have a strong directivity index away from both the entrance and exit of the car wash. Noise levels are highest at the car wash exit however the impact on receptors in the direction of the exit is limited due to high background sound levels arising from road traffic on Yonge Street.

Potential impact on receptors located towards the car wash entrance were not within the scope of this assessment but may be greater than on receptors towards the car wash exit due to the relative impact of Yonge Street road traffic noise.

The car wash provides a net reduction in noise impact at the monitoring location situated at the property line to the north west of the car wash with shielding of road traffic noise more than off-setting the noise arising from operation of the car wash.

We trust the aforementioned meets your immediate requirements.

Yours truly,

Trow Associates Inc.



Bob Jowett, B.Sc., C.E.P.I.T.
Environmental Scientist
Environmental Division



Ron Taylor, M.Sc., C. Chem.
Senior Project Manager
Environmental Division

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July 25, 2007

Reference: BAEN00286072A

Mr. Bob MacNeil
MacNeil Wash Systems
423 Welham Road,
Barrie, Ontario L4N 8Y4

**Noise Assessment – 10 & 15 HP Fans
423 Welham Road
Barrie, Ontario**

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Dear Mr. MacNeil:

1. Introduction

At the request of MacNeil Wash Systems (MacNeil), Trow Associates Inc. (Trow) performed a noise assessment of 10 HP and 15 HP car wash dryer fans at 423 Welham Road located in Barrie, Ontario. The assessment was performed on July 6, 10, and 13, 2007.

Trow understands that MacNeil develops and manufactures car wash systems and required a noise assessment of dryer fans to assess impact of baffle and foam insulation on noise produced by the fans. The assessment protocol evaluated the frequency distribution of noise and total noise (A weighting) produced by the fans under client defined operating conditions.

2. Equipment and Assessment Protocol

Noise produced by the fans was measured by a Quest 2900 Integrating Sound Level Meter (S/N CDC030016) equipped with a Quest OB300 filter for measurement of frequency distribution. Measurement of total noise was made using dBA weighting and frequency measurements were made using dB Linear weighting.

The microphone was positioned in an upright position, 1 m above ground level for all measurements. Measurements were made within the MacNeil Wash Systems research and development facility located at 423 Welham Road. Fan location was in the centre of the facility, as far as practicable from all noise reflective surfaces. Extraneous noise within the facility was kept to a minimum during measurement activities. Extraneous noise sources at neighbouring facilities were outside the control of MacNeil and Trow, however Trow considers that such sources generally made minimal contribution to recorded noise values. In instances where

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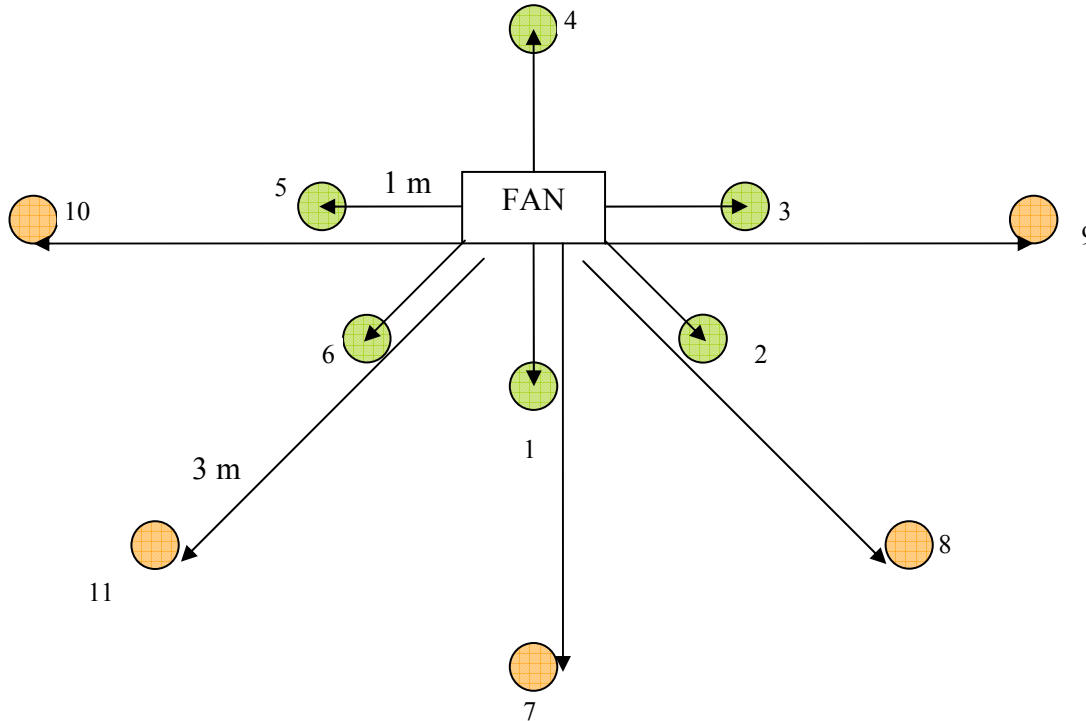
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measurements may have been impacted by extraneous noise sources data has been highlighted. Trow recommends caution when evaluating highlighted data.

Measurements were made in a semi-circle to the front of each fan at distances of 1 m and 3m, with an additional measurement point located 1 m directly behind the fans. See Figure 1 below for measurement locations:

Figure 1. Noise Measuring Point Locations



Measurements of noise produced by 10 HP and 15 HP fans were made under the following operating conditions:

- No attenuation device fitted
- Baffle fitted (no foam), maximum air flow
- Baffle fitted (no foam), minimum air flow
- Baffle with foam insulation fitted, maximum air flow
- Baffle with foam insulation fitted, minimum air flow

Results

Equivalent noise levels (L_{eq}) for each measurement period are provided in tabular form below. Bar charts of significant data are also provided to facilitate evaluation of the impact of noise attenuation due to installation of the baffle, operation of fans at reduced air flow, and installation of foam installation within the baffle.

Table 1. – Noise Produced by 10 HP Fan with No Attenuation

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	92.2	65.8	76.1	82.3	84.4	86.1	91.3	89.7	83.7	86.4	74.4	73.4
2	89.6	62.9	73.3	78.6	82.2	84.7	87.8	87.2	83.1	84.6	72.2	72.5
3	86.7	57.4	67.8	74	78.8	82.7	85	84.4	82.1	79.5	74.2	71.6
4	87.8	58.7	68.1	75.3	80.3	81.4	85.7	81.9	78.8	84	77.4	74.5
5	90	58	68	75.2	80.6	83.6	85.9	84.6	81.1	78.4	74.5	74.3
6	87.3	62.7	73	78.9	83.1	85.4	87.8	86.5	82.4	83.8	72.4	73.4
7	86.6	58.7	69.2	75	79	81.3	85.6	80.8	80.7	80.8	68.2	66.6
8	85	56.7	67.7	73.7	78	80	82.9	80.8	80.8	79.4	68.8	80.3
9	83.3	52.7	64	70.7	75.8	78.9	81.1	77.9	78.6	79.8	69.2	87.1
10	83.8	53.1	64.3	71.6	77.1	79.2	81.9	77.7	78	76	71.4	71.4
11	86.2	58.5	68.5	75.2	79.6	81.8	83.6	80.2	80.2	78.2	69.2	69.2

Table 2. – Noise Produced by 10 HP Fan with Baffle at Maximum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	89.2	58	68.4	74.9	81.8	83.6	87.4	87.4	82.8	85.3	72.7	72.2
2	89.2	60.6	71.3	77.3	82.3	84	85.7	87.1	83.2	84.9	74.2	85.4
3	88	58.6	69.4	75.6	80.9	83.2	85.4	84.9	82.4	79.8	77.4	82.7
4	88.5	58.3	68.1	75.2	81.2	83.3	87.3	83.9	79.1	84.4	78.5	74.4
5	89.1	59.4	70	76.7	82.5	84.5	86.4	85.6	81.5	79.3	76.7	74.4
6	89.2	60.2	70.9	77.4	82.9	84	85.8	87.1	82.7	84.2	74.2	73.5
7	84.9	53.8	64.4	71.2	77.5	80.6	82.1	82	80.8	80.6	70.3	73.5
8	84.3	54.3	65.2	72.2	78.5	79.5	80.8	80.6	80.6	78.9	69.3	67.6
9	84.1	54.1	65.5	72	77.1	81.2	81.2	78.4	76.3	77.8	69.8	68.1
10	84.8	54.4	65.6	72.7	78.6	79.9	81.8	79.4	76.9	77	74.2	73.4
11	85	55.2	66.3	73.3	79.4	81.3	81.2	81.6	80.9	80	71.5	80.9

Table 3. – Noise Produced by 10 HP Fan with Baffle at Minimum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	84.9	63.6	74.1	78	77.5	78.7	79.8	82.4	79.6	82.9	79.7	79
2	86.4	68.3	77.9	80.6	77.9	78.5	80	83.7	82.5	85.5	81.6	80.4
3	83.7	59.7	71.5	74	75.4	78.5	80	83.1	78.7	83.9	87.1	87.3
4	84.2	56.6	67.2	72.7	75.7	79.4	83.9	82.2	78.3	86.7	88.2	70.3
5	84.8	61.2	71	75.2	76.5	78.7	81.5	84.1	77	81.7	84.3	71.1
6	86.8	67.8	77.7	81.5	78.6	78	80.4	82.3	78.7	82.5	80.7	75.6
7	81.2	59.7	69.5	73.7	73.6	75.1	76.8	77.7	79.3	83.2	78.2	71.6
8	81.6	61	71.3	75	73.9	74.7	75.7	76.5	77.4	80.1	76.9	69.4
9	80.4	57.7	67.2	71.4	72.5	74.7	77	74.7	75.4	81.9	80.4	71.9
10	81.1	58.3	67.7	72.4	73.3	75.3	78.2	74.9	73.4	81.3	82.4	70.5
11	82.4	61.7	71.8	76.2	74.5	75.1	75.9	77.4	78.8	81.7	78.9	67.7

Table 4. – Noise Produced by 10 HP Fan with Baffle and Foam Insulation at Maximum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	87.9	55.2	65.7	73.3	79	82.4	87.1	87.8	82.9	85.2	75	73.1
2	88.4	57	68	75.4	80.3	83.7	85.6	88	83.5	84.8	74.1	71
3	87.2	56.8	67.4	73.9	79.5	82.8	84.6	85.2	81.6	79.4	77.9	86.3
4	88	57.2	66.9	74.2	79.6	82	87.4	83.2	78.5	84.1	79.1	75.8
5	88.2	59.3	67.8	74.9	80.9	83.7	85.6	85.3	81.5	78.3	76	73.1
6	88.1	56.6	67.8	75.7	80.7	83	85.5	87.1	82.6	84.2	74.7	72.3
7	83.6	51.4	67.6	70.1	75.6	79	81.7	82.1	80.5	80.6	71.2	67.3
8	83.4	56.2	62.6	70.9	76.7	79.1	80.5	81	80.3	79	68.8	63.9
9	83	51.6	63.8	70.1	75.6	78.3	80.1	78.4	76.7	78.7	71.3	66.3
10	84.2	51.8	63.9	71.2	76.9	79.2	81.6	79.3	77.2	76.9	72.7	68.2
11	84.3	52.2	63.9	71.6	77.6	79.6	80.9	80.7	80.7	80	70.7	66.8

Table 5. – Noise Produced by 10 HP Fan with Baffle and Foam Insulation at Minimum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	84.9	62.5	72.7	77	76.4	77.4	79.5	82.3	78.7	82.8	80	70.1
2	86.6	67.9	77.4	80.5	77.6	78.1	80	83.5	82.3	86.2	81.8	77.7
3	83.3	59.6	69	73.1	74.7	78	79.4	82.9	79.4	84.2	84.4	78.9
4	84.2	55.3	65.9	71.7	74.7	78.6	84.5	82.9	77.9	86.6	86.7	69.7
5	84.4	62.2	69.8	74.5	75.9	78.6	81.8	84.5	77.7	82.2	84.7	69
6	86.3	67.1	77.2	80.8	77.9	77.3	80.1	82	79.1	83.2	80.5	64.3
7	80.8	58.8	68.2	72.8	72.6	74	76.4	75.5	79.9	83.6	77.8	62.1
8	81.2	60.2	70.3	75	73.7	74.3	75.9	77.9	77.3	79.7	78.2	70.8
9	79.5	56.6	66.4	71.1	71.6	74	75.8	75.6	72.6	79.6	79.5	66.2
10	80.8	58.2	67.2	72.3	73	75.5	78.4	74.4	73.4	80.6	83.3	70.4
11	82	61.3	71.5	76.6	74.3	74.7	75.9	78	76.7	79.6	79.9	66.6

Table 6. – Noise Produced by 15 HP Fan with No Attenuation

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	95.8	66.2	76.6	82.4	85.7	89.6	96.2	92.5	83.6	86.1	74.1	68
2	94.5	64.2	75.2	80.8	84.6	87.5	93.1	89.7	83.9	85.1	73.1	67
3	92.6	61.7	71.6	78.5	83.9	87.2	90.8	87.9	85.4	81.3	77.2	72.2
4	92.6	62.8	72.8	79.2	84.4	87.1	92	84.2	84.4	86.1	79.4	72.8
5	92.9	61.4	72.2	79.7	85.4	87.6	91.6	88.2	84.6	82.7	74.5	69.4
6	95.5	66.1	76	82.1	86.5	90.6	94.1	90.9	84.2	85.7	74.1	68.9
7	89.9	60	70.9	77.6	81.4	84.6	89.4	83.5	81.3	81.6	70.6	63.6
8	89.4	59	70.8	77	81.1	84.3	87.7	82.8	81.8	81.1	72.2	68.9
9	89.2	55.3	67.4	74.8	79.9	84.1	87.4	81.3	80.4	78.6	71	63.1
10	89	56.2	68	75.7	80.7	84.5	87.5	81.3	80.5	77.8	73.1	69.2
11	90.3	60.1	71	77.7	82.3	86.1	87.9	82.4	82.5	81.4	71.8	64.2

Table 7. – Noise Produced by 15 HP Fan with Baffle at Maximum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	93.4	60.6	71.8	79.5	84.4	88.3	93.6	90.8	83.9	85.8	74.3	68.2
2	92.7	63	74.8	81.1	85.4	87.3	91.3	89.4	84.5	85.4	75	69.7
3	92.9	63.3	73.4	80.3	85.6	87.2	89.9	88.4	85.1	82.1	77.9	72.6
4	92.6	62.7	72.5	79.2	84.9	87.6	92.3	85.1	83.8	85.9	79.7	74.7
5	93.3	63.1	73.9	80.9	86	87.6	91.5	88.6	84.6	82.8	77.3	74.2
6	93.8	62.3	73.9	81	86.1	88.2	92.2	89.1	84.2	85.9	74.4	69.6
7	89.4	56.1	67.7	75.6	81	84.8	87.9	83.6	81.6	83	76	63.1
8	89	57.4	68.9	76.3	81.2	83.6	86	82.5	81.6	82	70.7	66.9
9	89.2	56.8	68.4	75.8	80.9	84	87.7	81.8	80.1	78.5	72.7	68.1
10	90	58	69	76.5	81.5	84.4	87.9	81.2	80.4	78.9	73.7	67.8
11	89.1	57.5	69.1	76.7	81.6	84	87.1	82.4	82.6	81.4	71.4	67.9

Table 8. – Noise Produced by 10 HP Fan with Baffle at Minimum Air Flow (No Foam Insulation)

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	89.2	67.1	78.4	81.4	80.4	80.9	81.9	84.6	83	81.2	75.8	71.1
2	91.1	70.9	81.8	84.7	81.4	81.9	82.6	86.3	82.1	80.6	76.9	66.3
3	88.3	65.2	75.6	79.1	79.3	82.7	82.8	86.8	79.8	81	80.6	69.3
4	88	60.6	71.9	76.6	78.9	83.3	83.7	85.5	80.5	87.5	84.3	71.5
5	88.3	67.9	76.9	79.8	79.2	80.8	83.6	85.6	80.8	80.5	79.3	70.1
6	91.3	71.5	82.4	85.4	81	80.7	83.5	86	83	81.4	76.8	64.3
7	85.8	62.4	74	77.8	76.7	77.9	79.7	78.7	81.5	79.2	74	62.7
8	86.4	64.7	75.8	79.6	77.2	78.3	79.1	79.5	78.2	78.5	74	62.9
9	85.1	61	71.9	76	76.5	79.1	79.9	78.5	76.7	82	78.4	68.9
10	84.8	61.9	72.4	76.2	75.9	78.6	80.4	78.8	77.8	80.8	78.5	66.1
11	86.1	64.6	76	79.4	77.3	78	78.5	78.9	81.6	79.8	75.3	66.1

Table 9. – Noise Produced by 15 HP Fan with Baffle and Foam Insulation at Maximum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	92.2	58.7	69.7	77.8	82.3	86.5	93.1	90.7	84.3	86.5	74.5	71.7
2	91.5	60.6	73.4	79.5	83.5	86.7	90.5	89.1	84.4	85.4	75	70.6
3	91.6	61.8	71.8	78.6	84.6	86.9	89.5	88.5	84.7	81.8	76	71.9
4	92.1	62.2	71.9	78.2	83.3	86.8	92.3	84.4	84	86.2	79.1	75.1
5	92.3	61.5	72.2	79.6	84.8	87.1	90.9	88.2	84.3	82.6	75	73
6	92.3	59.7	71.6	79.3	83.6	86.6	91.4	89.3	84	85.6	74	68.7
7	88.1	54.4	65.9	74.3	79.3	83.3	88.2	83.6	81.7	82.1	70	64.6
8	87.2	55.5	67.6	74.8	79.8	83.1	86.3	82.7	81.9	81.9	71.7	70.8
9	88.2	55.6	66.9	74.4	80	83.6	87.5	81.6	79.6	79	72.4	72.5
10	88.5	56	67.6	75	80.2	84	88.3	81.1	80	78.6	73.2	73.5
11	87.6	55.3	67.4	75.1	80	82.7	86.1	82	82.3	81.6	70.5	63.5

Table 10. – Noise Produced by 15 HP Fan with Baffle and Foam Insulation at Minimum Air Flow

Measurement Station	Leq (dBA)	Leq 16k Hz (dBL)	Leq 8k Hz (dBL)	Leq 4k Hz (dBL)	Leq 2k Hz (dBL)	Leq 1k Hz (dBL)	Leq 500 Hz (dBL)	Leq 250 Hz (dBL)	Leq 125 Hz (dBL)	Leq 63 Hz (dBL)	Leq 31.5 Hz (dBL)	Leq 16 Hz (dBL)
1	87.1	65.9	77.3	80.5	79.5	80.1	81.2	84.5	82.9	81	75.7	69.4
2	89.3	69.9	80.7	83.8	80.5	81.7	82.2	85.9	81.8	80.3	77.1	72.5
3	87.3	63.7	74.2	77.9	78.5	83	82.7	86.1	79.6	80.7	80.4	72.2
4	86.8	58.8	70.4	75.5	78.6	82.5	84.2	84.2	80.5	86.7	84.5	69.2
5	86.8	66.3	75.2	78.4	78.6	80.4	83.2	85.3	80.3	79.8	79.3	69.7
6	89.1	70.2	80.8	83.9	79.8	80.4	83	85.7	82.3	81.1	77	68.7
7	84.4	61.2	72.7	76.8	75.9	77.5	80	78.6	81	78.8	74	65.7
8	83.7	63	74.7	78.5	76.4	78.1	78.5	79.4	78.4	78.1	74	73.5
9	83.7	59.3	70.7	74.9	80.5	79.1	80.2	77.9	77.3	82.1	77.8	72.2
10	83.3	60.7	71.5	75.2	75.4	78.3	80.2	78	78.1	80.9	78.1	72.2
11	84.6	63.3	74.9	78.8	76.4	77.8	79.1	78.1	81.3	79.5	75.6	66.2

Figure 2. Sound Pressure Levels Produced by 10HP Fan

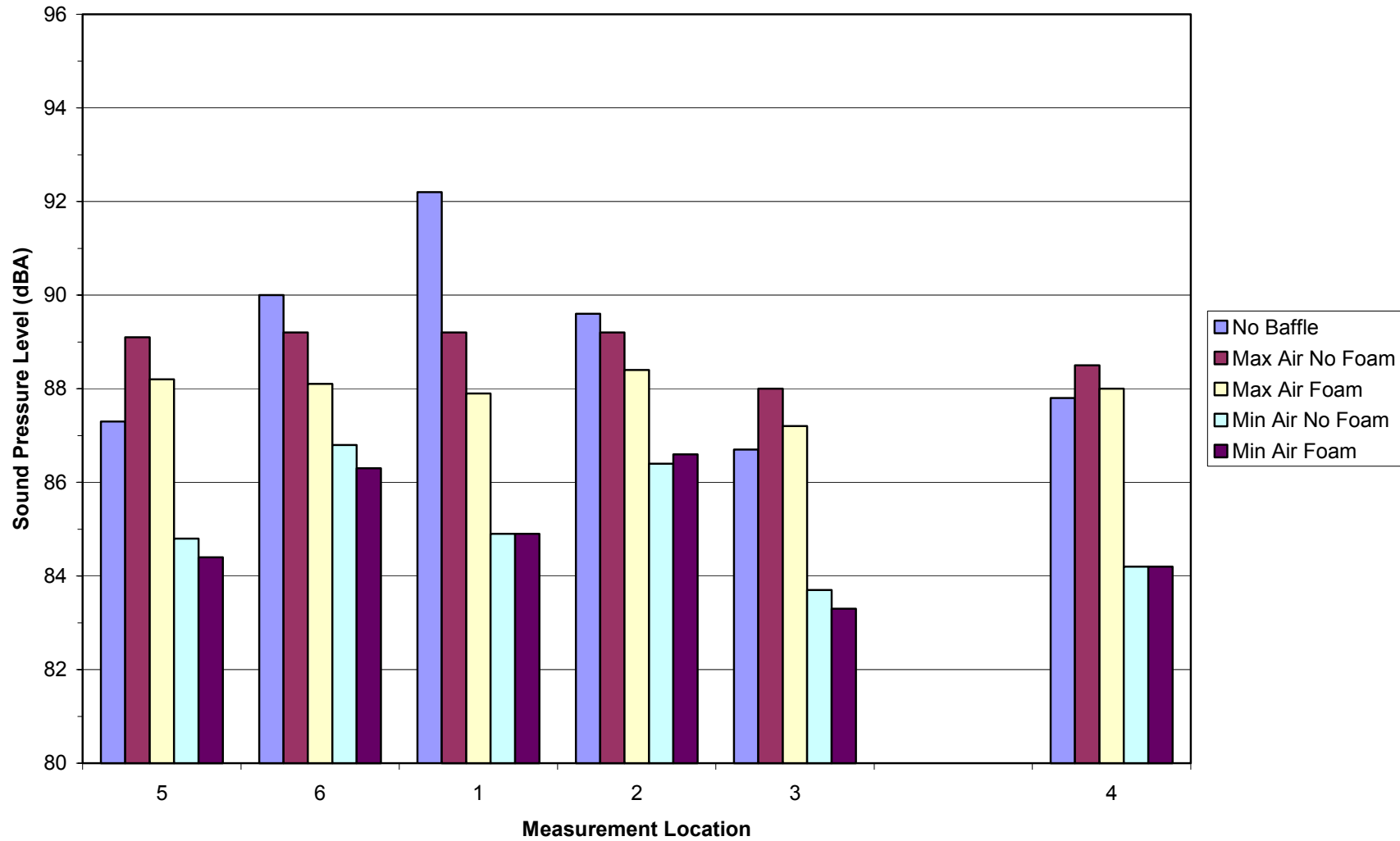


Figure 3. Sound Pressure Levels Produced by 15HP Fan

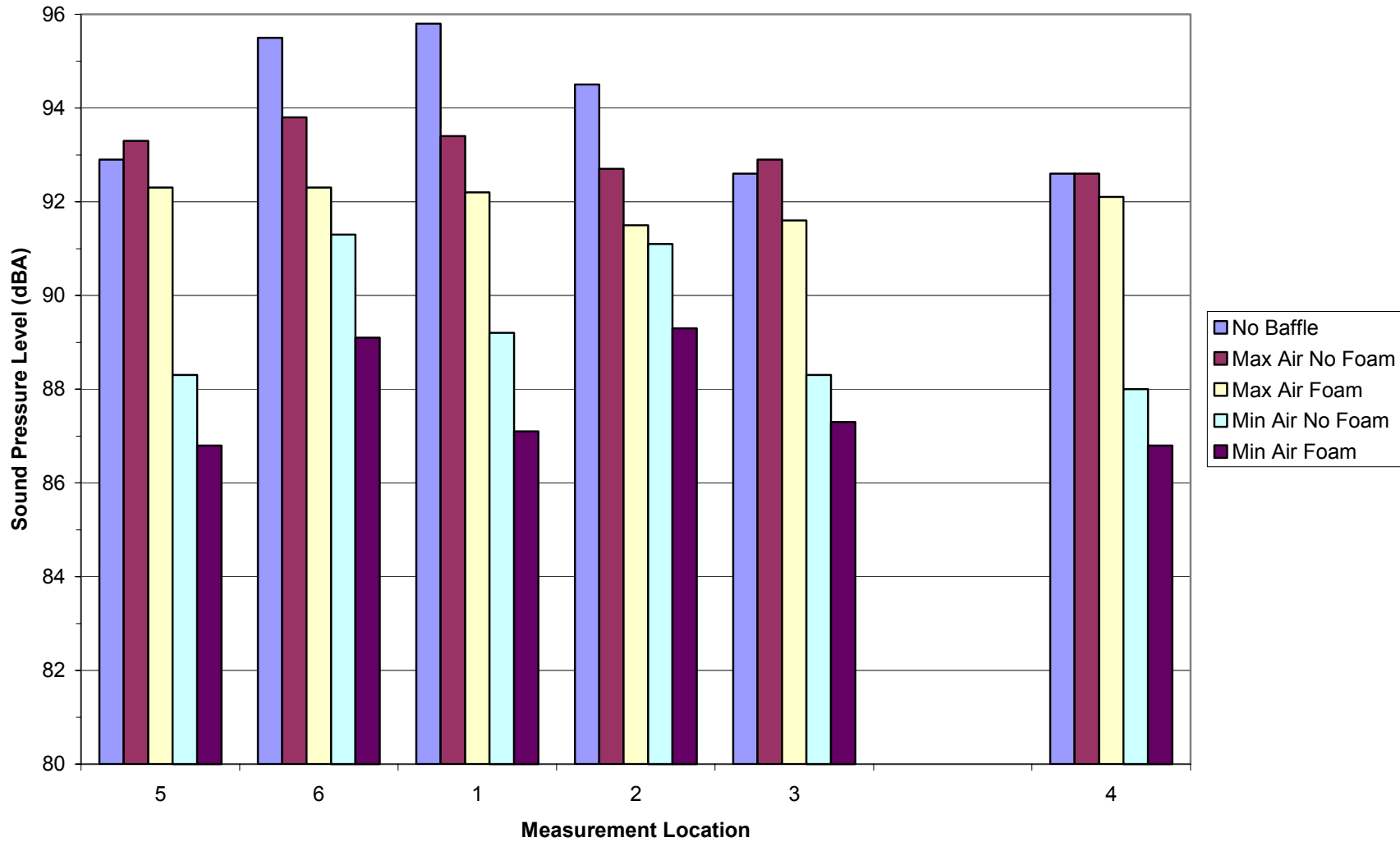


Figure 4. 10HP Fan Maximum Air Flow with Baffle. Frequency Distribution at 1m

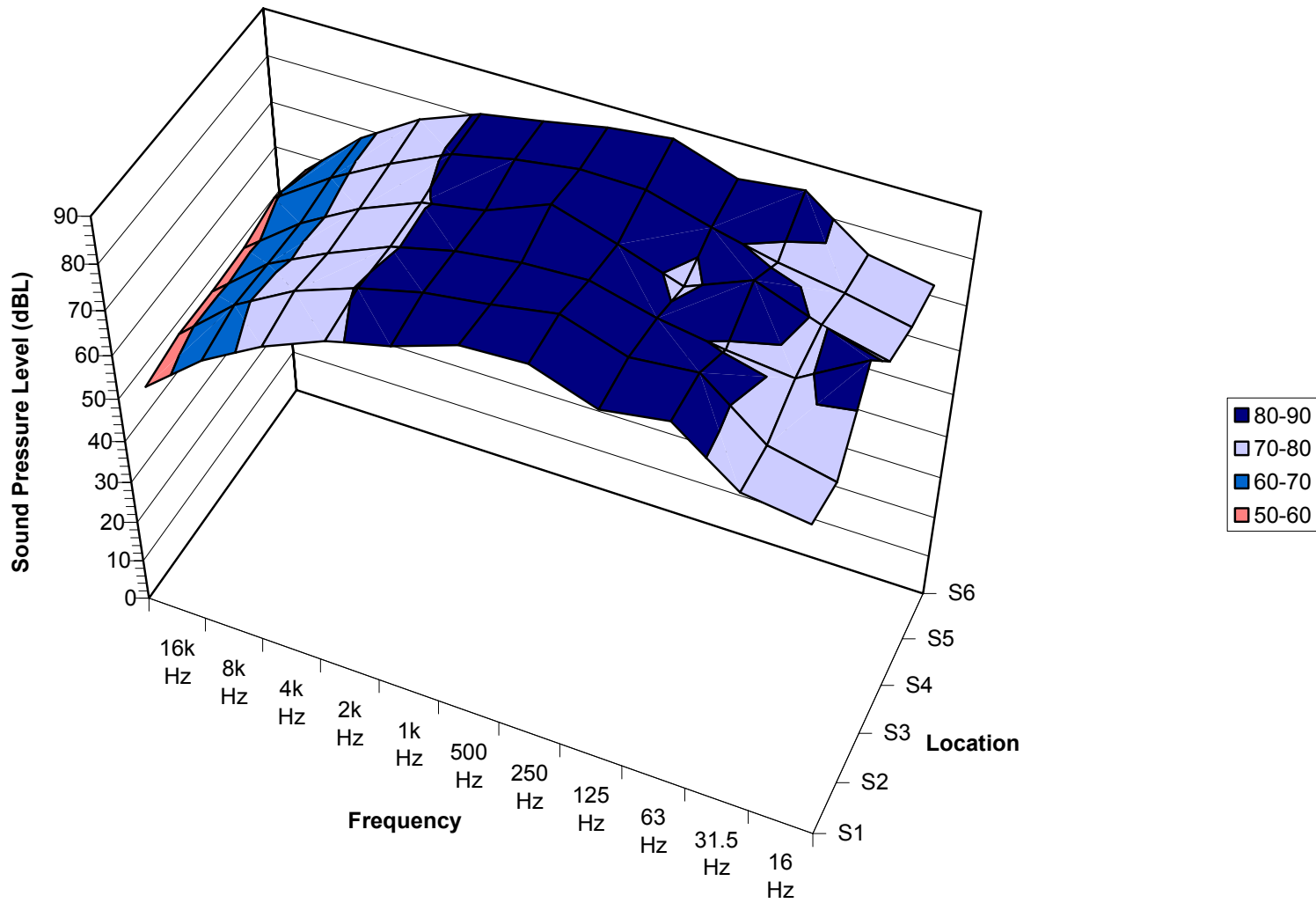


Figure 5. Change in Sound Pressure Level with Frequency on Installation of Baffle to 10HP Fan

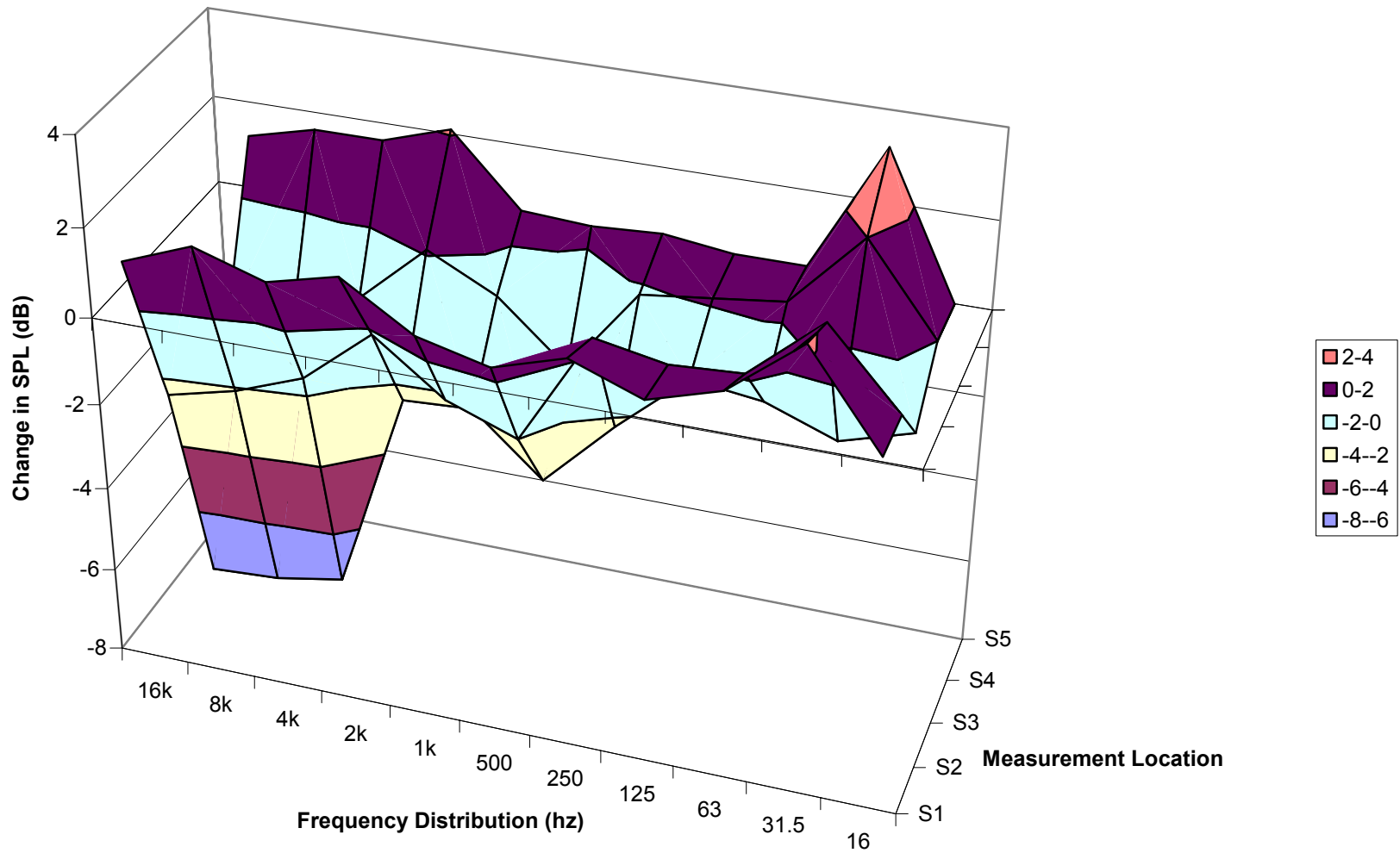


Figure 6. Change in Sound Pressure Level with Frequency on Installation of Baffle to 15HP Fan

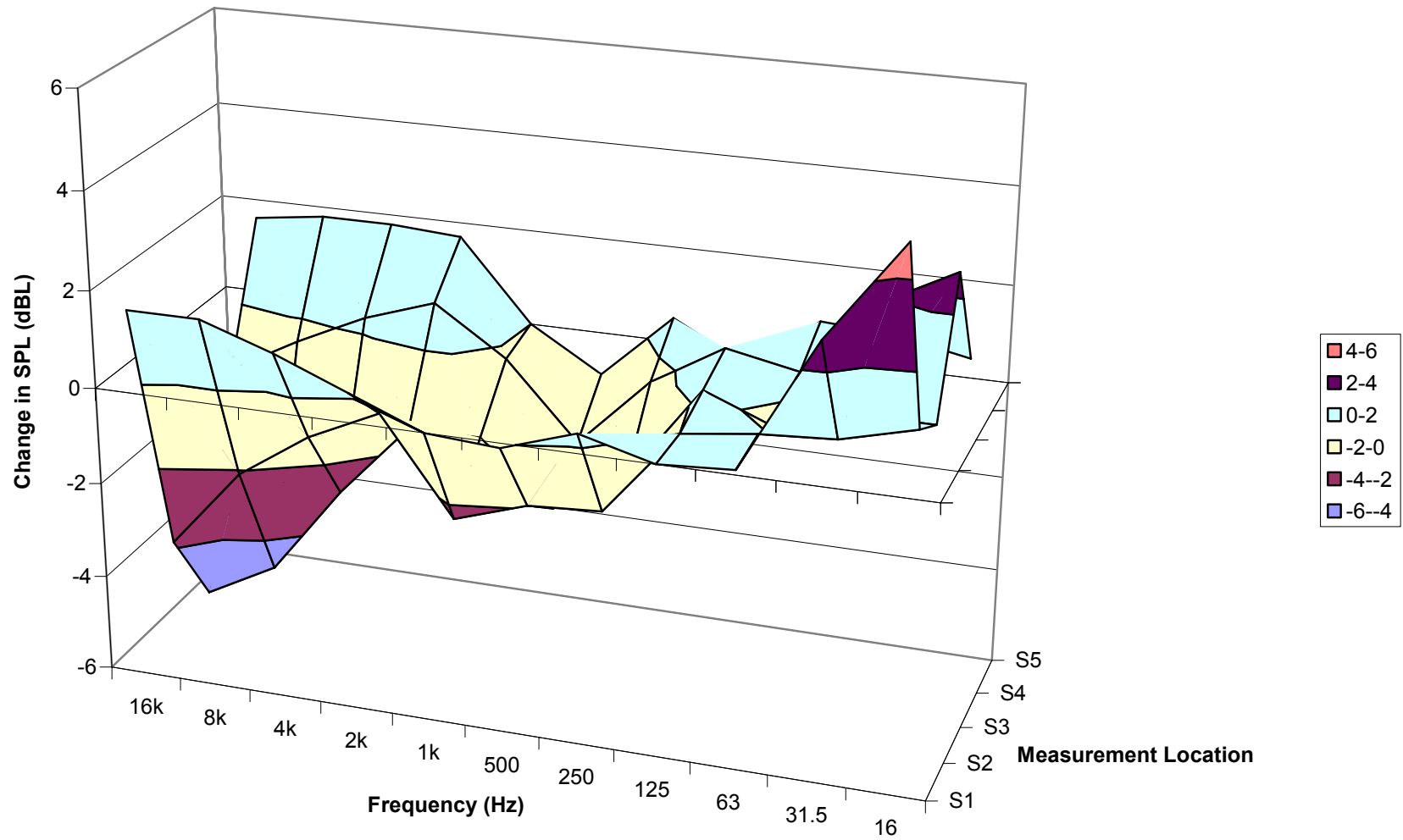


Figure 7. Change in SPL with Frequency on Installation of Baffle and Foam to 15HP Fan (Max Air Flow)

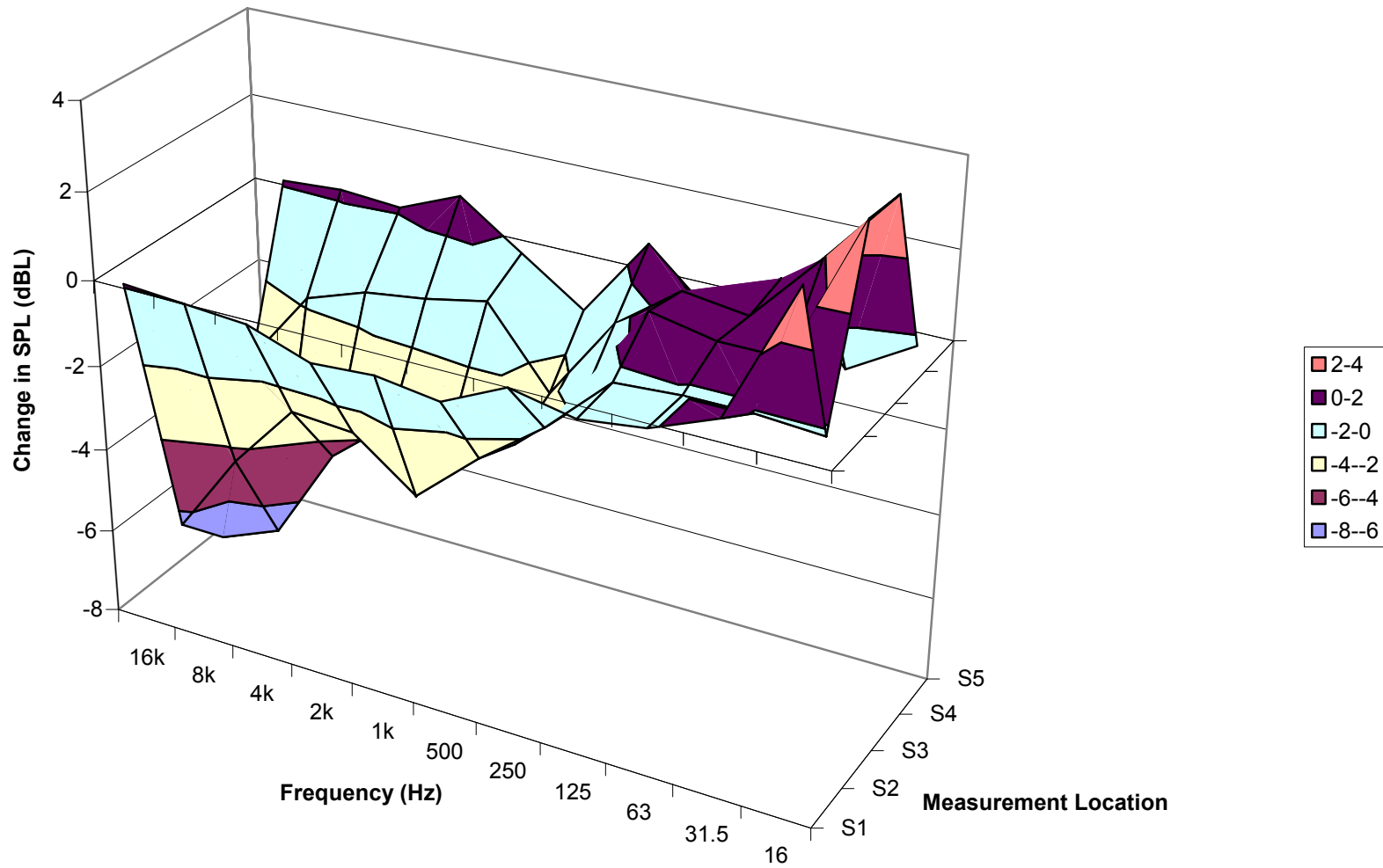
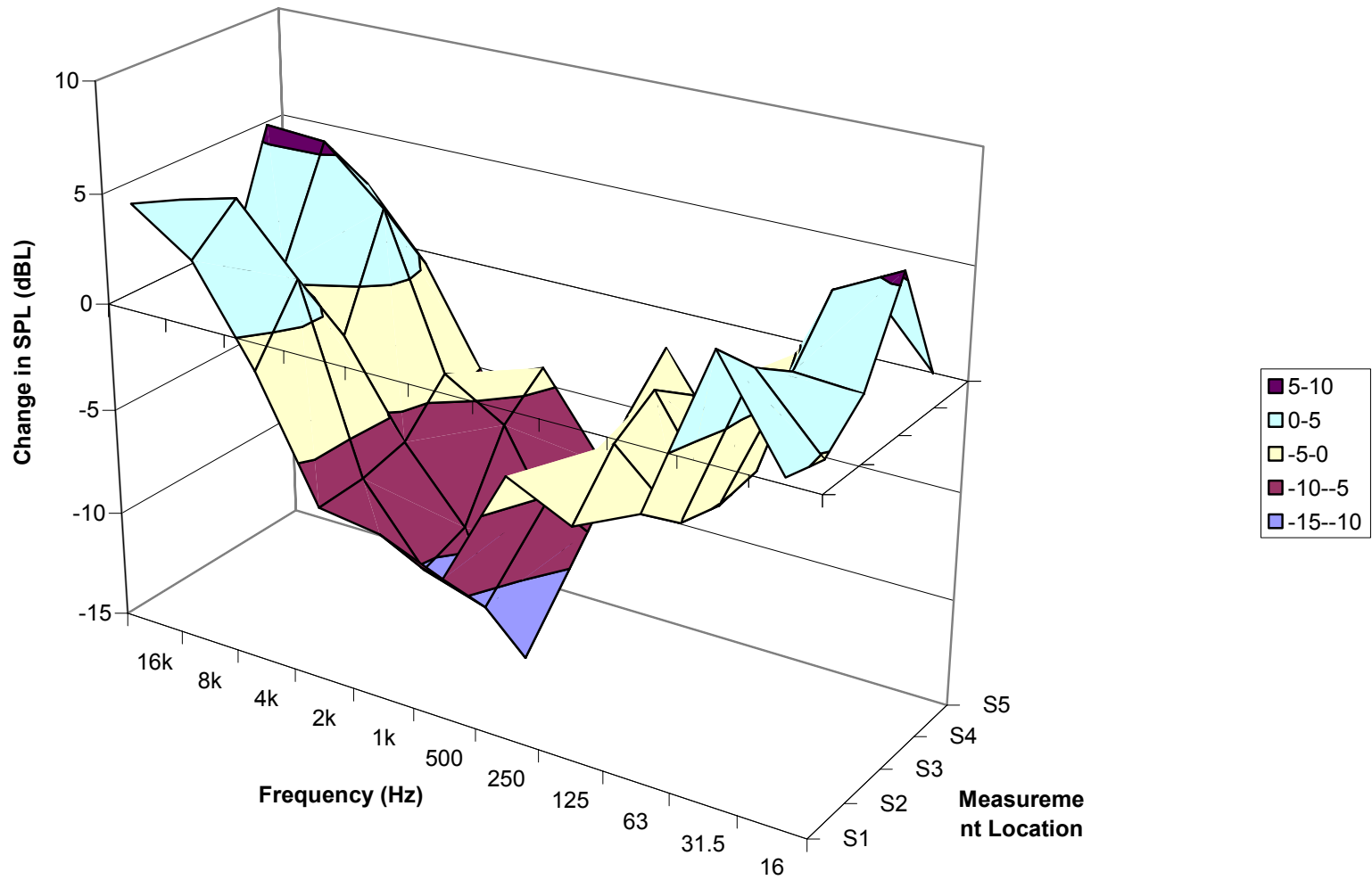


Figure 8. Change in SPL with Frequency on Installation of Baffle with Foam to 15HP Fan and Operation at Minimum Flow



5. Comments

Sound pressure levels are anticipated to decrease by 3 dB with a doubling of distance from the source. Measurements were taken 1 m and 3 m from each fan under each chosen operating condition, the anticipated decrease in sound pressure level at 3 m from source in comparison to 1 m from source is 4.8 dB. Recorded decreases in sound pressure level were, on average, in the range of 4.5 to 5.2 dB showing good agreement with theoretical sound attenuation with distance. Trow concludes that interference due to sound reflection, extraneous noise sources, etc. were maintained at acceptable level during the measurement periods.

Attenuation of Sound by Baffle at Maximum Air Flow

Installation of the baffle whilst operating the 10 HP and 15 HP fans at maximum air flow rate resulted in a change in the directional distribution of the sound emitted from the fans. Sound pressure levels directly in front of the fans were reduced by 2 – 3 dB. Conversely, sound pressure levels at 180° to the fans increased by 0 – 2 dB. (See Figures 2 and 3).

Attenuation of Sound by Baffle at Minimum Air Flow

Operation of the baffle at minimum flow resulted in a further change in the directional distribution of sound emitted from the fans, with maxima values being recorded at 45° to the face of the fans. Sound pressure levels at all measurement locations were reduced by 2 – 5 dB by operating at minimum air flow in comparison to operating without the baffle or with the baffle at maximum air flow. (See Figures 2 and 3).

Attenuation of Sound by Foam Insulation

Introduction of foam insulation into the baffle resulted in a decrease in measured sound pressure level by <2dB under the majority of operating conditions for both the 10HP and 15HP fans. (See Figures 2 and 3).

Sound Pressure Level Frequency Distribution

The frequency distribution for the 10HP fan operating at maximum air flow with baffle is shown in Figure 4. Under all operating conditions the sound pressure level frequency distribution showed maxima at central frequency ranges (e.g. 250 – 1000 hertz), however operating parameters were shown to impact on frequency distribution. Installation of baffles to the 10HP and 15HP fans (see Figures 5 and 6) resulted in:

- a 4 – 8 dB reduction in high and mid frequency (250 – 16,000 Hz) sound pressure levels in front of the fans;
- a 0 – 2 dB increase in high frequency sound pressure levels at 180° to the fans;
- minimal impact on low frequency (16 – 125 Hz) sound pressure levels in front of the fans; and,
- a 0 – 4 dB increase in low frequency sound pressure levels at 180° to the fans.

Reduction of air flow (see Figures 7 and 8) resulted in:

- a decrease in mid frequency (250 – 2,000 Hz) sound pressure levels at all measurement locations;
- minimal impact on low and high frequency sound pressure levels in front of the fans;
- a 0 – 6 dB increase in low and high frequency sound pressure levels at an angle of 45° to the fan orientation; and,
- a 0 – 5 dB increase in low and high frequency sound pressure levels at 180° to the fans.

The redistribution of sound pressure level frequencies has the potential to impact on perception of noise nuisance through fan operation. Increased reduction of high frequencies as observed on installation of baffle (with or without foam insulation) is likely to reduce perceived nuisance as high frequency noise is considered more obtrusive. Any increases in low frequency sound pressure levels (e.g. during operation of baffles at minimum air flow) may increase the area of impact of any noise nuisance as low frequency sound travels further and is more difficult to attenuate than high frequency sound.

Conclusions

The above measurements provide a fundamental understanding of noise generated by 10HP and 15HP car dryer fans operating under controlled conditions.

Trow understands that car dryer fans are operated in banks of 6 – 18 within car wash units. Theory predicts that sound pressure levels will increase by 3 dB on doubling of noise source, e.g. two 15HP fans each generating a sound pressure level of 90 dB would provide a combined sound pressure level of 93 dB, four fans would provide 96 dB etc. Other factors can impact on predicted noise generation, resonance can increase noise impact whilst sound adsorbing materials may provide attenuation. Vibration is also a consideration.

Trow strongly recommends that in situ sound measurements be made to assess noise impact of car dryer fans installed within a car wash system. In situ measurements should consider appropriate receptors including, but not necessarily limited to, occupational noise and environmental receptors as well as car wash operation and design.

We trust the aforementioned meets your immediate requirements. If you have any questions, concerns or if we can be of any further assistance, please do not hesitate to contact the undersigned at your earliest convenience.

Yours truly,

Trow Associates Inc.



Bob Jowett, B.Sc., C.E.P.I.T.
Environmental Scientist
Environmental Division



Ron Taylor, M.Sc., C. Chem.
Senior Project Manager
Environmental Division



SOUND LEVEL METER READINGS

MODEL: FT-DD-T450HP4 (50hp T4 VACSTAR TURBINE VACUUM PRODUCER)

READING ONE: 73 DB-A, 3 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING TWO: 69 DB-A, 10 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING THREE: 54 DB-A, 20 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING FOUR: 38 DB-A, 30 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

NOTE: THESE READINGS WERE TAKEN OUTSIDE IN THE OPEN ON A CONCRETE SLAB.

SOUND LEVEL METER USED:

SIMPSON MODEL #40003 – MSHA APPROVED.
MEETS OSHA & WALSH-HEALY REQUIREMENTS FOR NOISE CONTROL.
CONFORMS TO ANSI S1.4-1983, IEC 651 SPECS FOR METER TYPE.

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EMAIL: info@vacutechllc
WEB SITE: vacutechllc.com

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A SELF SERVICE CAR WASH ON A 0.89-ACRE TRACT OF LAND, IDENTIFIED AS A PORTION OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Lisa White of Boing US HoldCo, Inc. on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Specific Use Permit (SUP) for a *Self Service Car Wash* on a 0.89-acre tract of land, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N SH-205 OV) District, being identified as a portion of Lot 2, Block A of the Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, addressed as 3611 N. Goliad Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Self Service Car Wash* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(H)(4), *Car Wash (Full-Service or Self-Service)*, of Article 04, *Permissible Uses*; Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development*

Standards; and Subsection 06.11, *North SH-205 Overlay (N SH-205 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and as my be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Self Service Car Wash* land use on the *Subject Property* and conformance to these conditions is necessary for continued operations:

- (1) The *Self Service Car Wash* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- (2) No outside display of merchandise or outside storage (e.g. *ice machine, propane cage, vending machines, and DVD rental kiosk*) shall be allowed on the *subject property*; with the exception of vending machines that are integrated into the façade of the building;
- (3) Additional landscaping (i.e. *trees and shrubs*) shall be required adjacent to the vacuum bays to provide additional sound attenuation for the residential subdivision north of the *subject property*;
- (4) A masonry screening wall a minimum of six (6) feet in height shall be constructed adjacent to the northern property line of the subject property; and,
- (5) Three (3) tiered screening (i.e. *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be incorporated in front of the carwash to screen the tunnel and vacuum bays adjacent to the eastern property line of the subject property.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should any business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate

offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF MARCH, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

Exhibit 'A'
Legal Description and Location Map

Legal Description: Lot 2, Block A, Dalton Goliad Addition
Address: 3611 N. Goliad Street

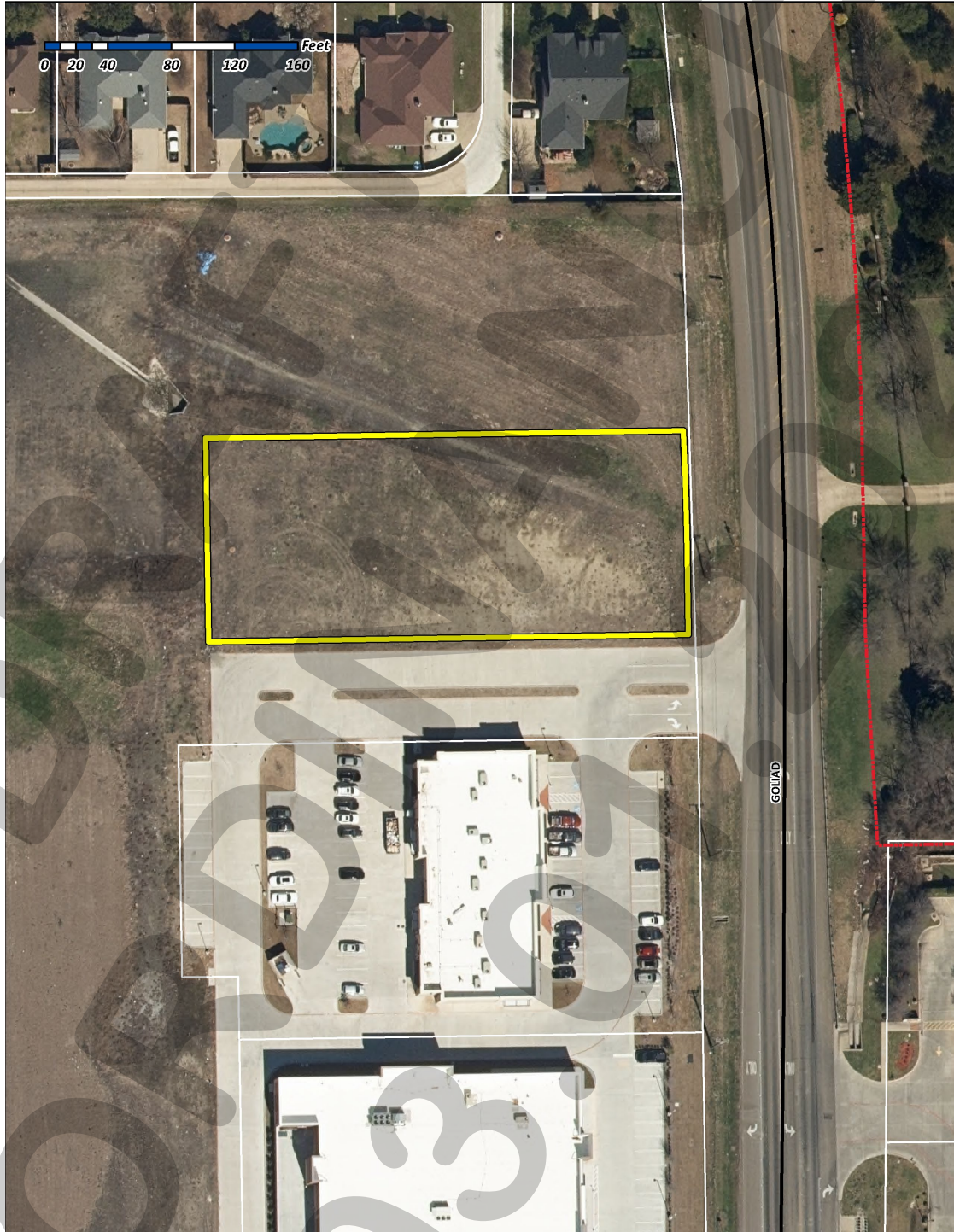
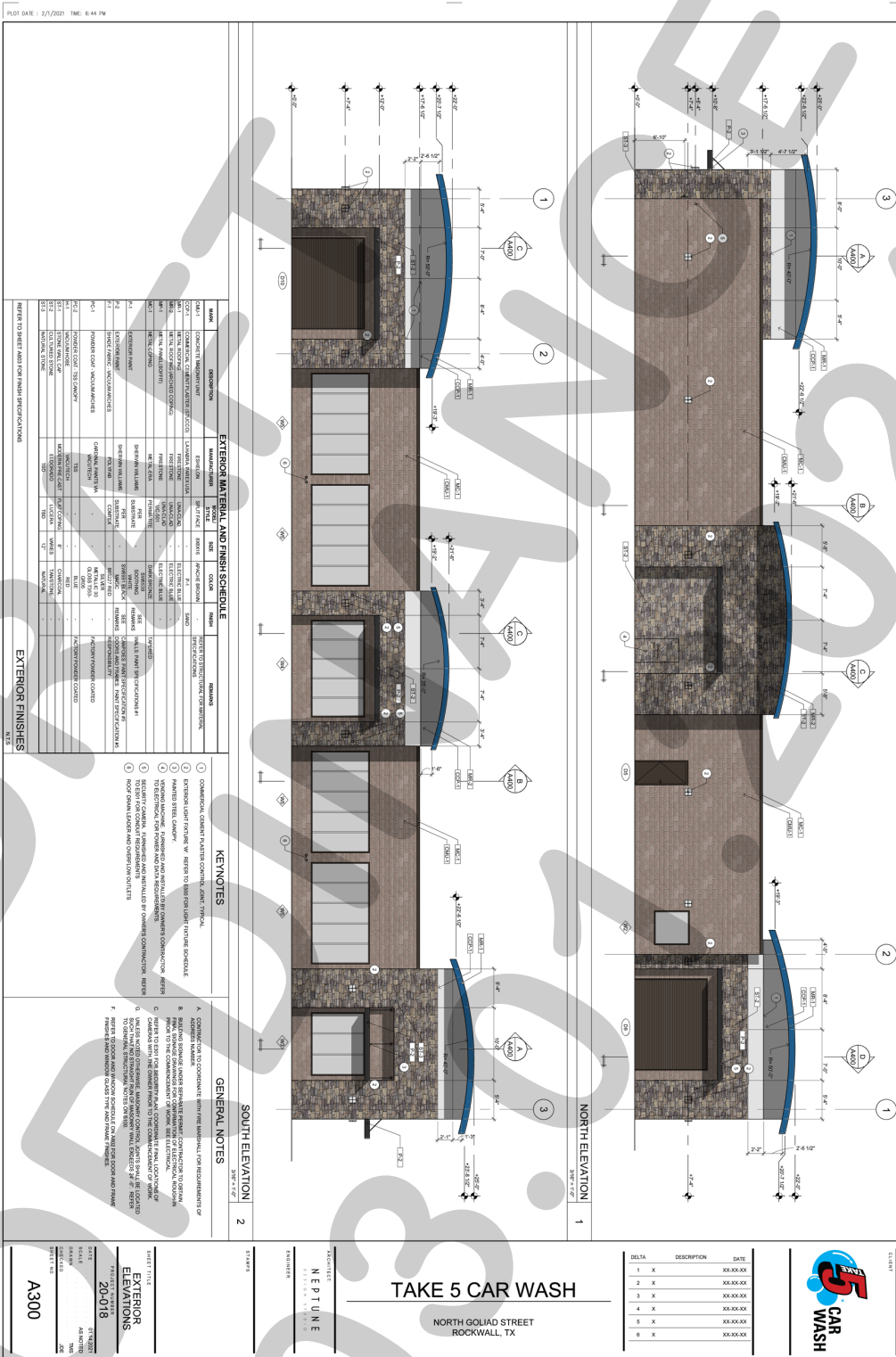


Exhibit 'C' Building Elevations





CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: March 9, 2021

SUBJECT: Z2021-003; *Specific Use Permit (SUP) for Residential Infill at 511 S. Clark Street*

On February 9, 2021, the Planning and Zoning Commission granted a request for a 30-day postponement of the public hearing to allow the applicant time to prepare a topographic survey in order to determine the floodplain/erosion hazard setback, which could potentially affect the placement of the proposed duplex. This was requested by the City's Engineering Department; however, the applicant, Jason Castro of Castro Development, LLC, has indicated to staff that the topographic survey is not complete and is requesting to withdraw the case [*i.e.* Case No. Z2021-003] (*see attached email*). The applicant has stated that he intends to resubmit the SUP request once the topographic survey is complete. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will need to vote on whether or not to accept the applicant's withdraw request. Should the Planning and Zoning Commission have any questions staff will be available at the March 9, 2021 meeting.

From: [Jason Castro](#)
To: [Gonzales, David](#)
Cc: [Ryan Withrow](#)
Subject: Re: P&Z Meeting Next Week
Date: Wednesday, March 3, 2021 12:30:53 PM
Attachments: [image.png](#)
[image.png](#)
[Outdoor - 20210303.png](#)

Good morning David,

Per our conversation this morning, we would like to request our application for 511 South Clark Street be withdrawn until the Topographical Survey has been performed.

Thank you for your consideration and assistance getting this withdrawn.

Sincerely,

[Texas law requires all license holders to provide the following Information About Brokerage Services form to prospective clients.](#)



Jason Castro

c. 214-232-2750
e. Jason@CastroPropertyGroup.com

Like me [Facebook!](#)
Follow me on [Twitter & Instagram](#)

During your representation by Coldwell Banker, you will NEVER be asked, via email, to wire or send funds to anyone, not even a title company. DO NOT COMPLY WITH EMAIL INSTRUCTIONS TO WIRE FUNDS!

From: Gonzales, David <DGonzales@rockwall.com>
Sent: Tuesday, March 2, 2021 3:40 PM
To: Jason Castro <jason@castropropertygroup.com>
Cc: Ryan Withrow <ryan@obj-arc.com>
Subject: RE: P&Z Meeting Next Week



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Jason Castro
CASE NUMBER: Z2021-003; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. On April 13, 1960, the subject property was platted to Lot 6 of the Harris Addition.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes and are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. Block 108 of the B F Boydston Addition) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre parcel of land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) and [2] a 2.6-acre parcel of land (i.e. Tract 65 of the R. Ballard Survey, Abstract No. 29). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses, and also located within the Mill Co. Subdivision, are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 2,023 SF & Unit #2, 1,171 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Not Comparable to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached to Unit #2, and located approximately (two) 2-feet behind the front façade of

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for each dwelling unit*) that is attached to Unit #2 and sets back approximately two (2) feet from the front façade of Unit #1, and if approved the Planning and Zoning Commission and City Council will be waiving the required garage orientation requirements. Staff should note that this garage orientation is not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway. With the exception of the garage orientation, the proposed duplex meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On January 22, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Four (4) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) One (1) email from a property owner within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (3) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) that is in favor of the applicant's request.
- (4) One (1) property owner notification from property owner that is *not within* the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a duplex on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
 - (d) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain/erosion hazard setback.

(2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT

6

BLOCK

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE

VACANT

PROPOSED ZONING

PROPOSED USE

TWO-FAMILY (DUPLEX)

ACREAGE

0.165 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Castro Development LLC

APPLICANT

CONTACT PERSON Jason Castro

CONTACT PERSON

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP

PHONE 214.232.2750

PHONE

E-MAIL jason@castropropertygroup.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

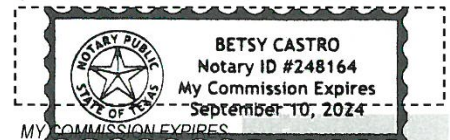
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF JANUARY, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

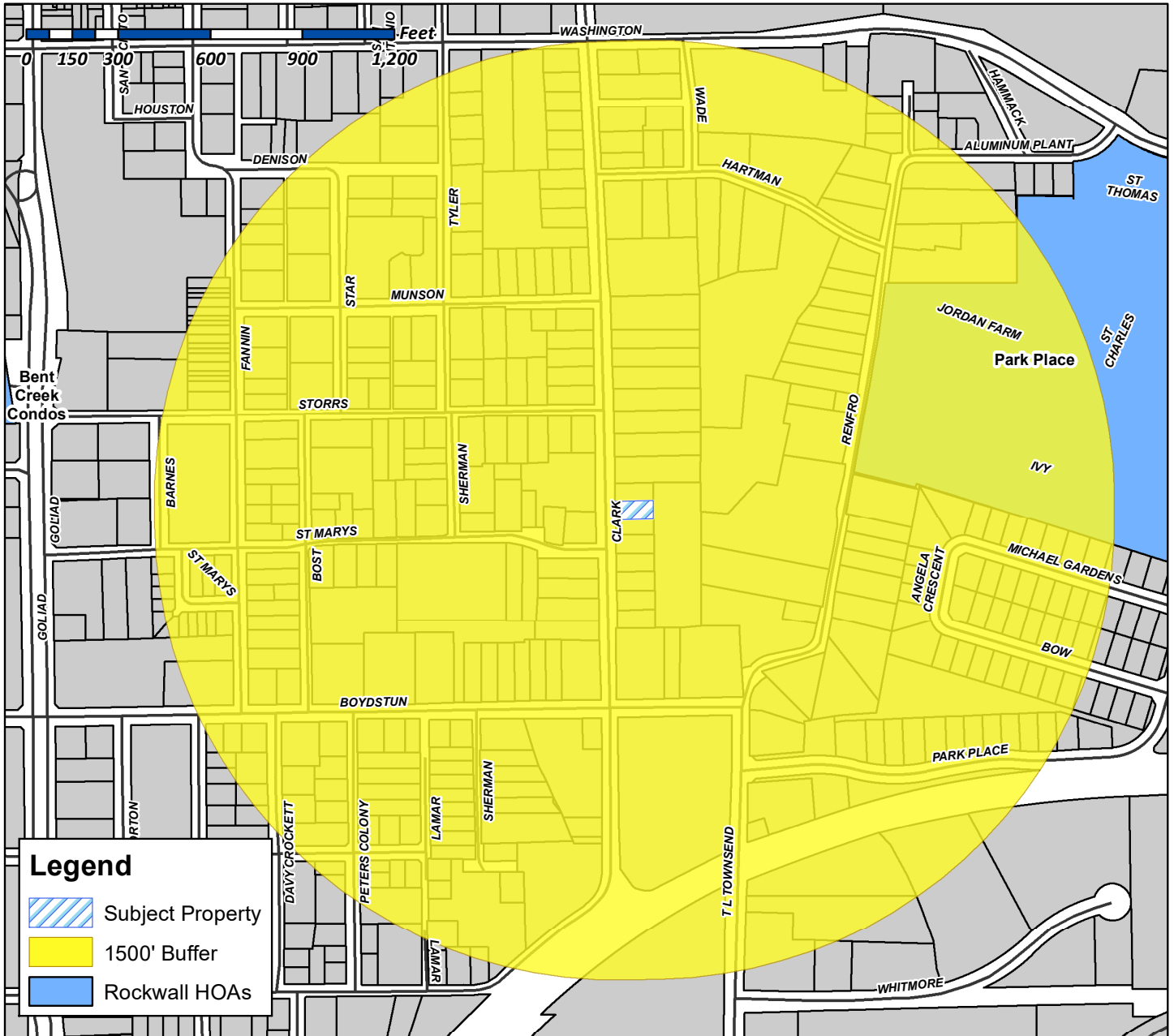




City of Rockwall

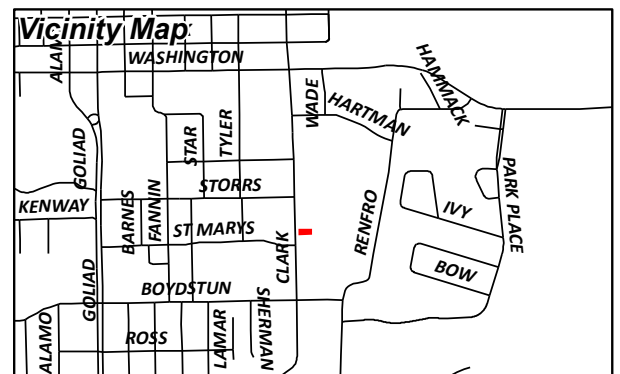
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-003]
Date: Friday, January 22, 2021 9:00:07 AM
Attachments: [Public Notice \(Z2021-003\).pdf](#)
[HOA Map \(Z2021-003\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 29, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 9, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 16, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-003 SUP for Residential Infill in an Established Subdivision
Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
<http://www.rockwall.com/planning/>

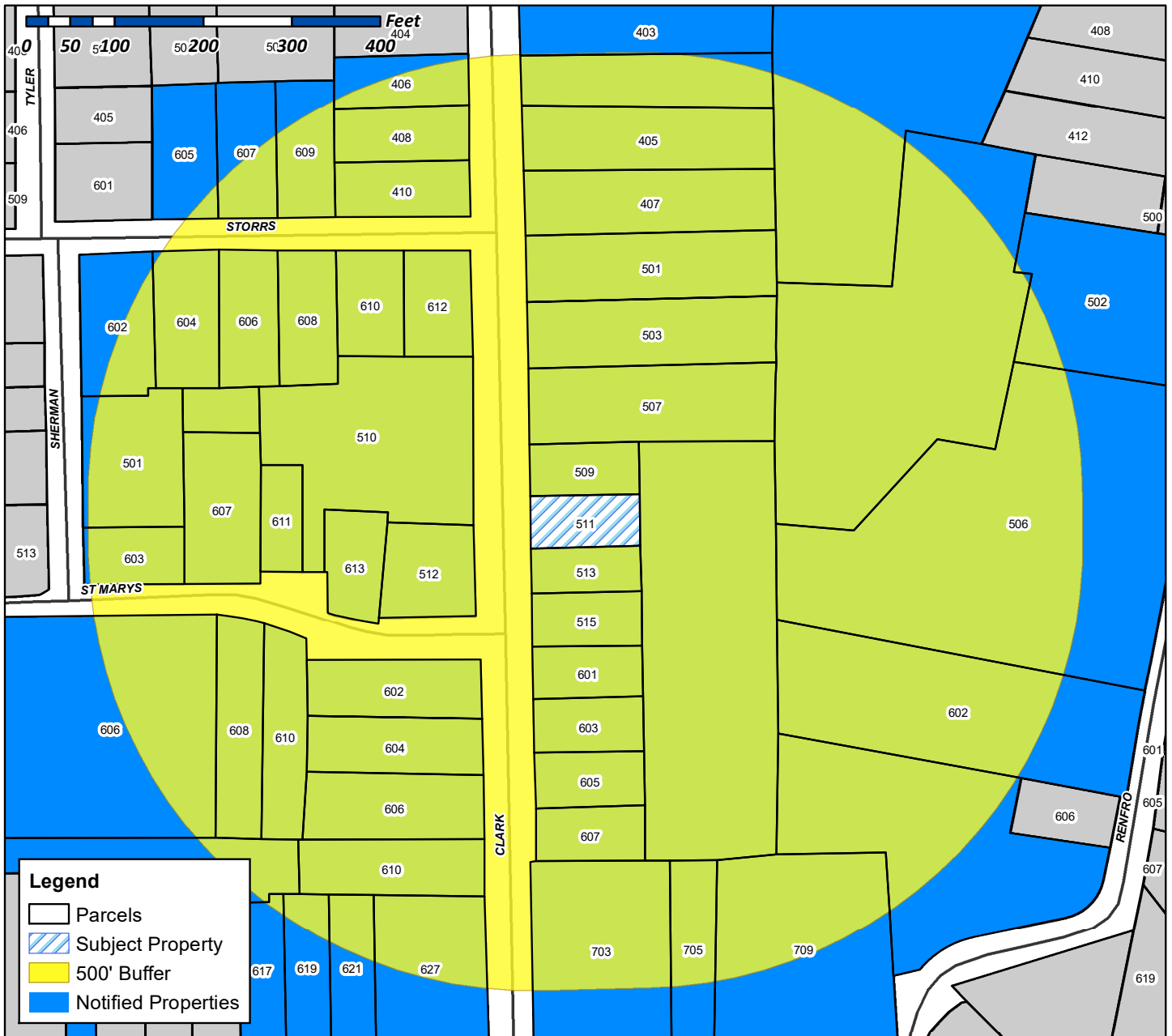
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City of Rockwall

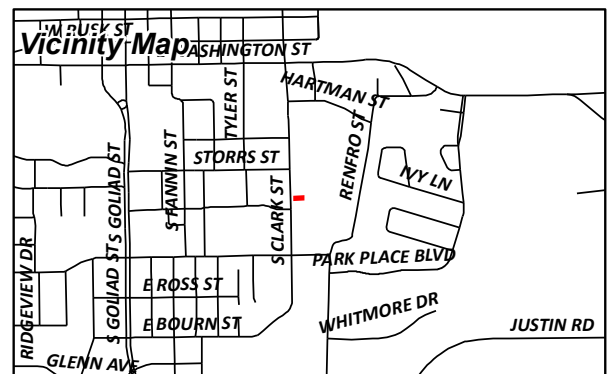
Planning & Zoning Department
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Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745





= RESPONSE RECEIVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-003: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

February 3, 2021

Planning Department

Case No. Z2021-003; Specific Use Permit for Residential Infill

Our neighborhood has improved with the newly developed and renovated homes on Clark Street and the surrounding area. Our property values continue to increase, but I do not believe that will continue if the city allows two-family duplexes to be built on Clark. I do not believe it is in the best interest of any of the surrounding homeowners in the area. Unfortunately, there are duplexes on Storrs Street that are not well maintained and appear very run down. I am opposed to the request for the Special Use Permit.

Regards,



Amy Davis
606 Storrs Street
Rockwall, TX 75087

PUBLIC NOTICE



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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- 1) Building in the flood plane could negatively affect my property.
- 2) NOT enough parking on street for cars. Current design only has 1 space for each unit.
- 3) GARAGES ARE pulling STRAIGHT in. NO T-Swing?

Name: Colby Randolph

Address: 621 E. Boydston Ave

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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The downtown or "Old" town area of Rockwall is a unique neighborhood with beautiful older single family homes. We want it to stay that way, so it will continue with the charm of a small town feel. Duplexes do NOT represent our neighborhood.

Name: represent our neighborhood.
Address: Michael & Sarah Haldeman: 607 Storrs St. Rockwall Tx. 75087

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Case No. Z2021-003: Specific Use Permit for Residential Infill

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- I am opposed to the request for the reasons listed below.

LOT IS NOT BIG ENOUGH FOR A DUPLEX. THERE ARE NO OTHER DUPLEXES ON CLARK. TOO MANY DUPLEXES IN THIS AREA ALREADY.
Name: MICHAEL JAMGOCHIAN
Address: 602 STORRS STREET

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*I would prefer we keep the character of the neighborhood to Single Family Homes vs Mixing in potential rental type property.
Vote NO*

Name: *Michael Rasmussen*
Address: *507 Park Place Blvd Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Always nice to have a new house on the street

Name: Sherri Johnston
 Address: 610 Storrs St.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM



From: [Renee LeCour](#)
To: [Gonzales, David](#)
Subject: Case No. Z2021-003 : Specific Use Permit for Residential Infill
Date: Tuesday, February 9, 2021 9:31:28 AM

Mr. Gonzales,

We are opposed to the rezoning to build a duplex on Clark Street. All of the homes are single family homes. We don't want to see this changed .

We feel like having another rental property that is a duplex would increase the congestion of traffic on Clark St and also the possibility of increased crime.

Mr. Castro already has a rental property next door to our home. We aren't opposed to him building a single family home. We want to see our neighborhood remain single family homes. Thank you for your consideration of this matter.

Sincerely,

David & Renee' LeCour
507 S. Clark St.
Rockwall, Tx 75087
[REDACTED]

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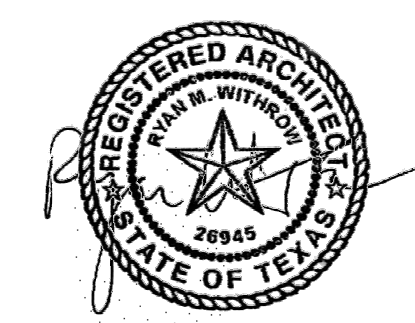


1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



Object & Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

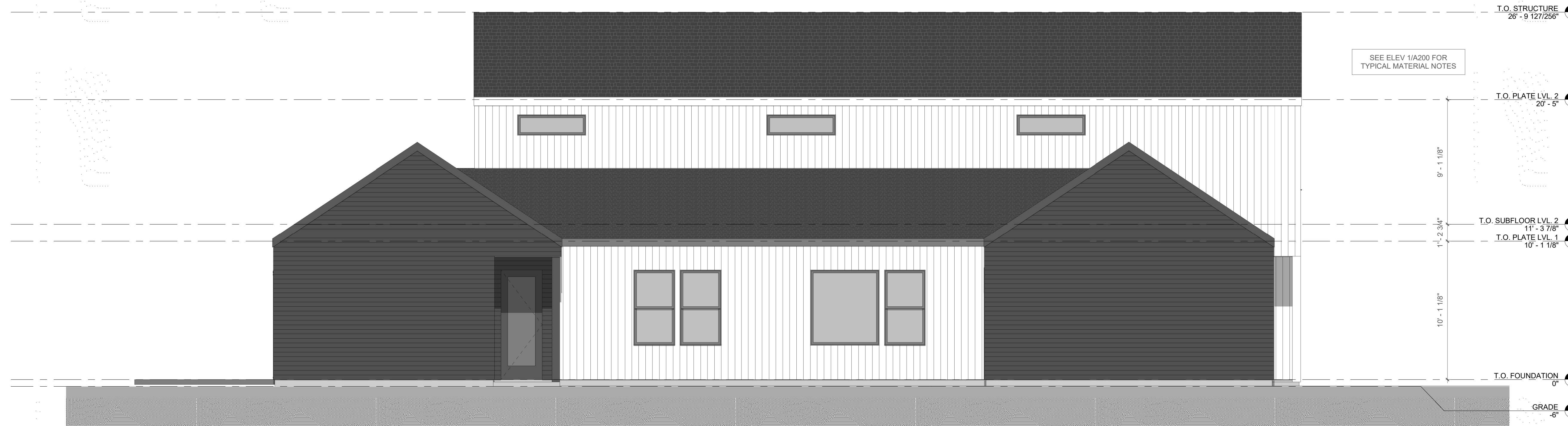
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200

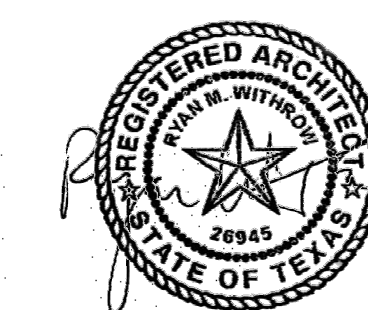


1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

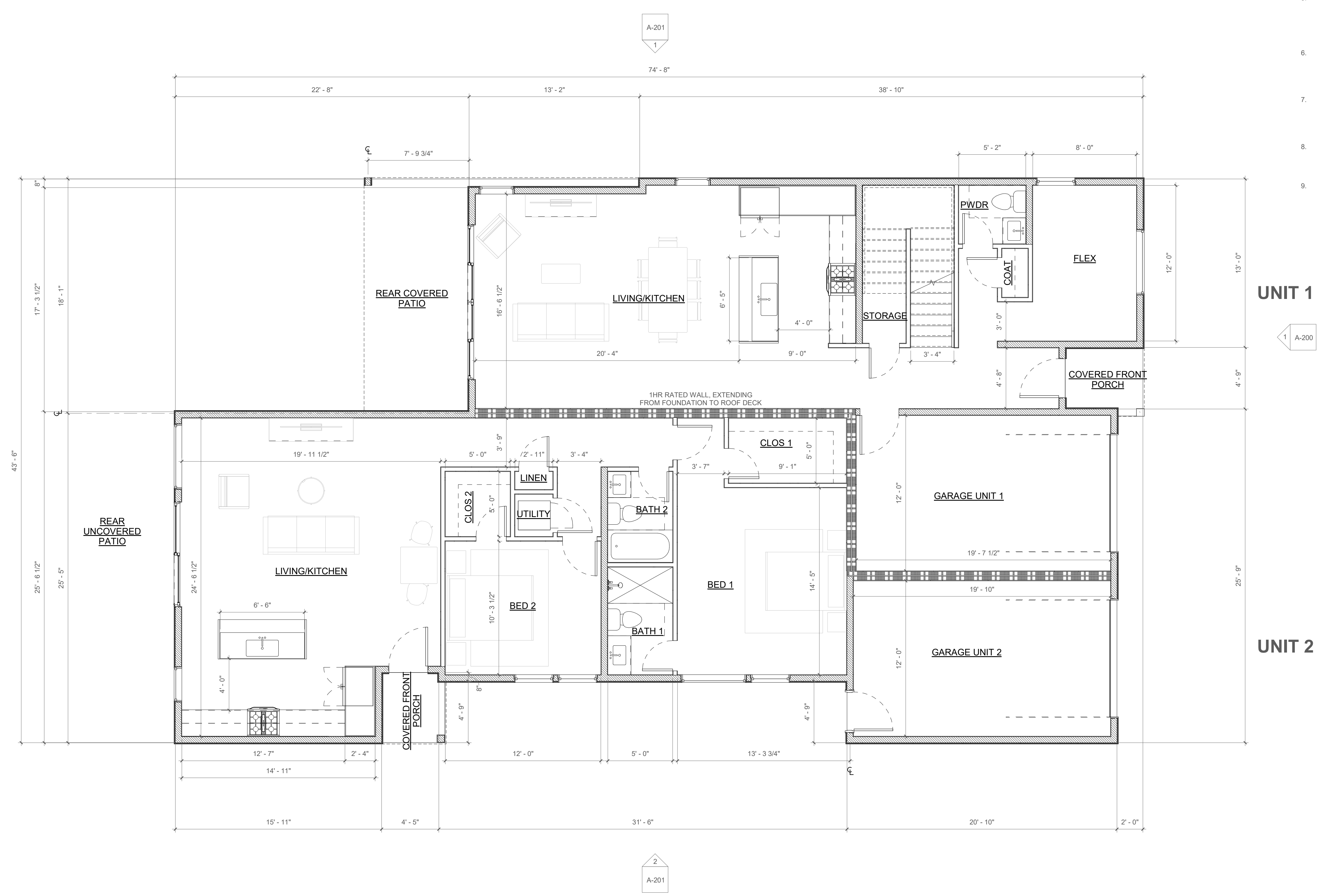
THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF EVAN WITTHORN AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PERMIT.

SHEET ISSUE DATE
01/15/2021



Object & Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



A-200 2

A-201 1

UNIT 1

1 A-200

UNIT 2

2 A-201

1 FIRST FLOOR PLAN
1/4" = 1'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL



LEVEL 1 FLOOR PLAN

A-100

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4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF EVAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PERMIT.

SHEET ISSUE DATE

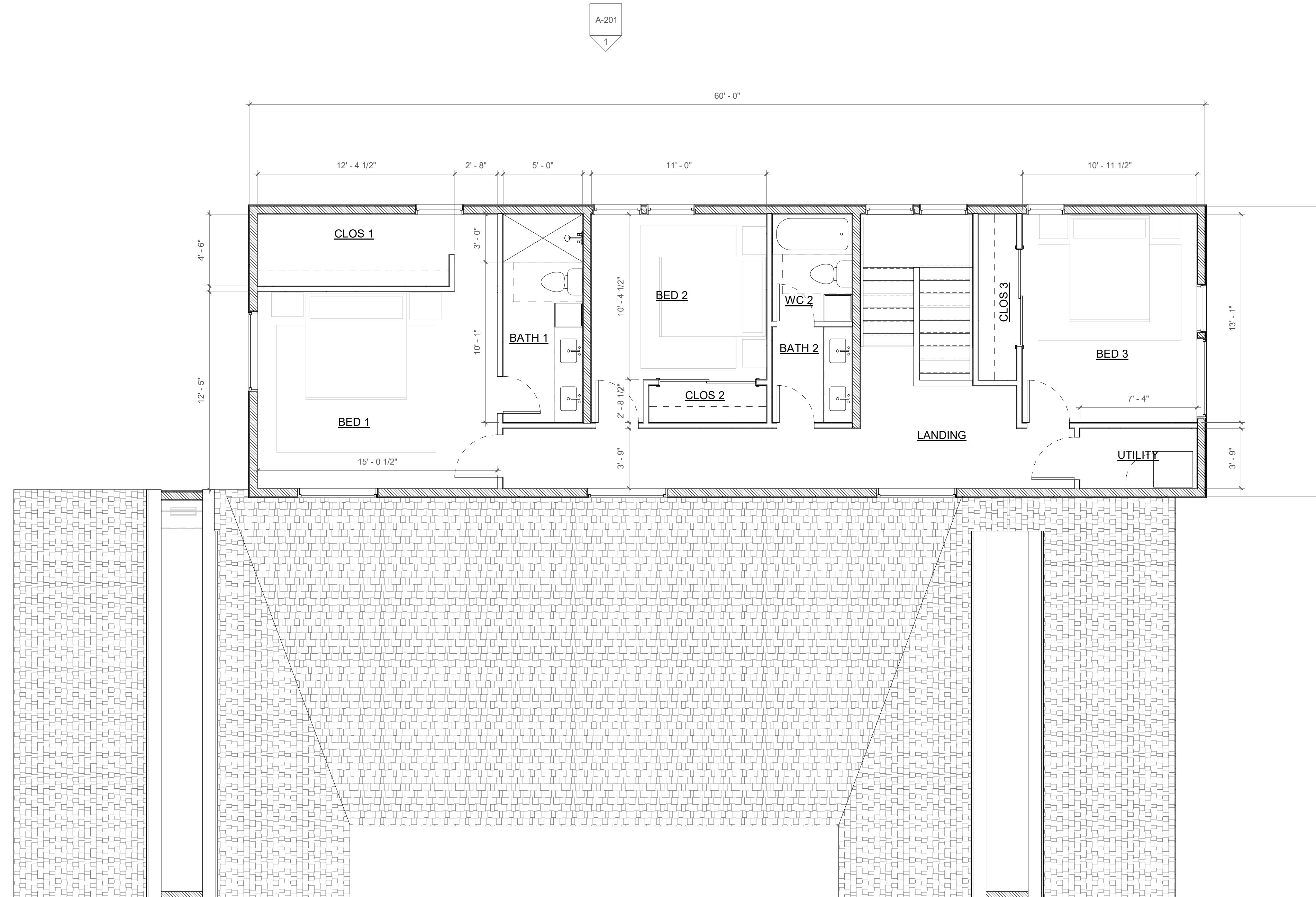
01/15/2021



PROJECT

Object & Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



UNIT 1

A-200 2

1 A-200

A-201 1

2 A-201

1 SECOND FLOOR PLAN
1/4" = 1'-0"

00703-01

CLARK DUPLEX

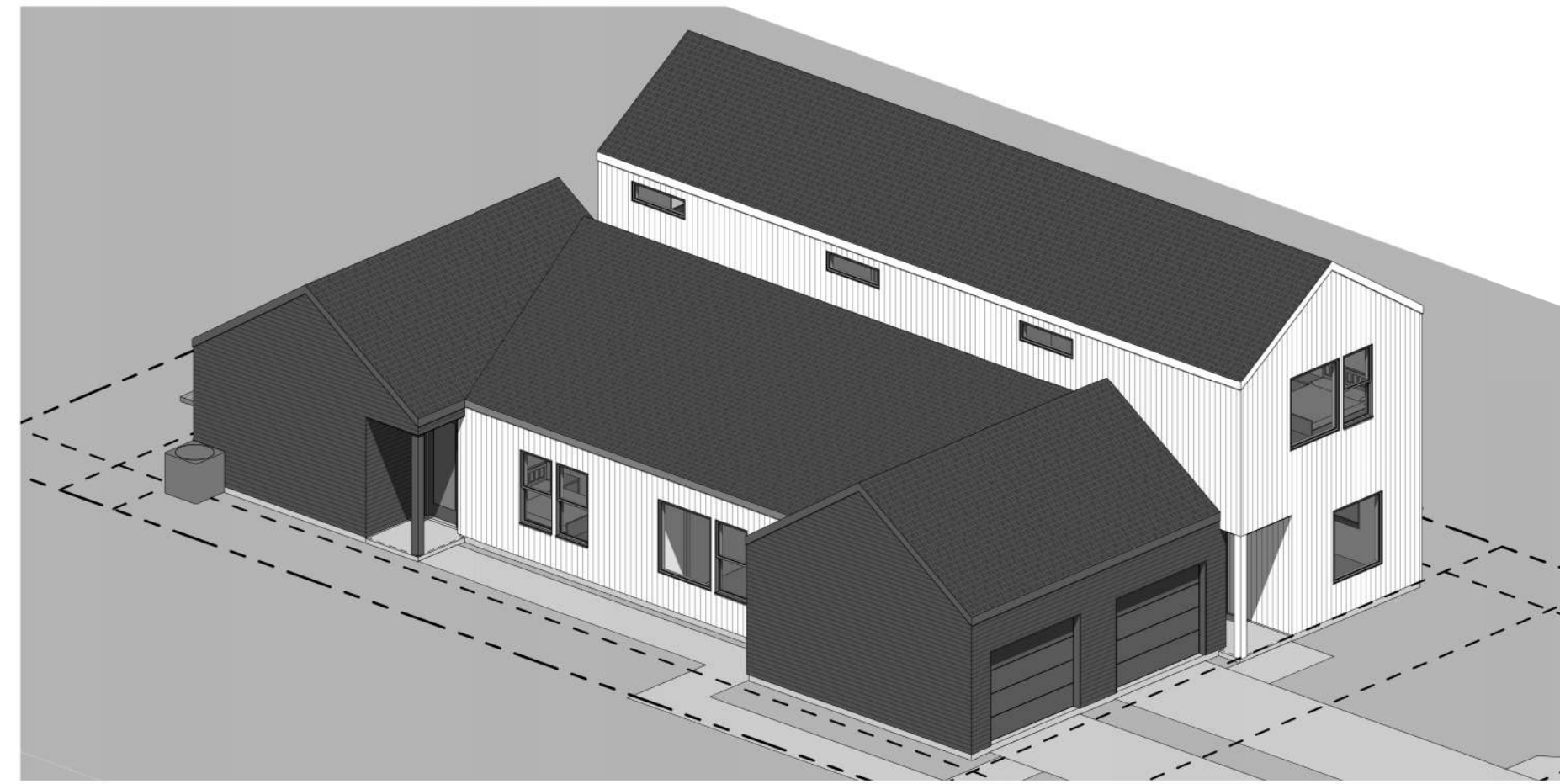
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR PLAN



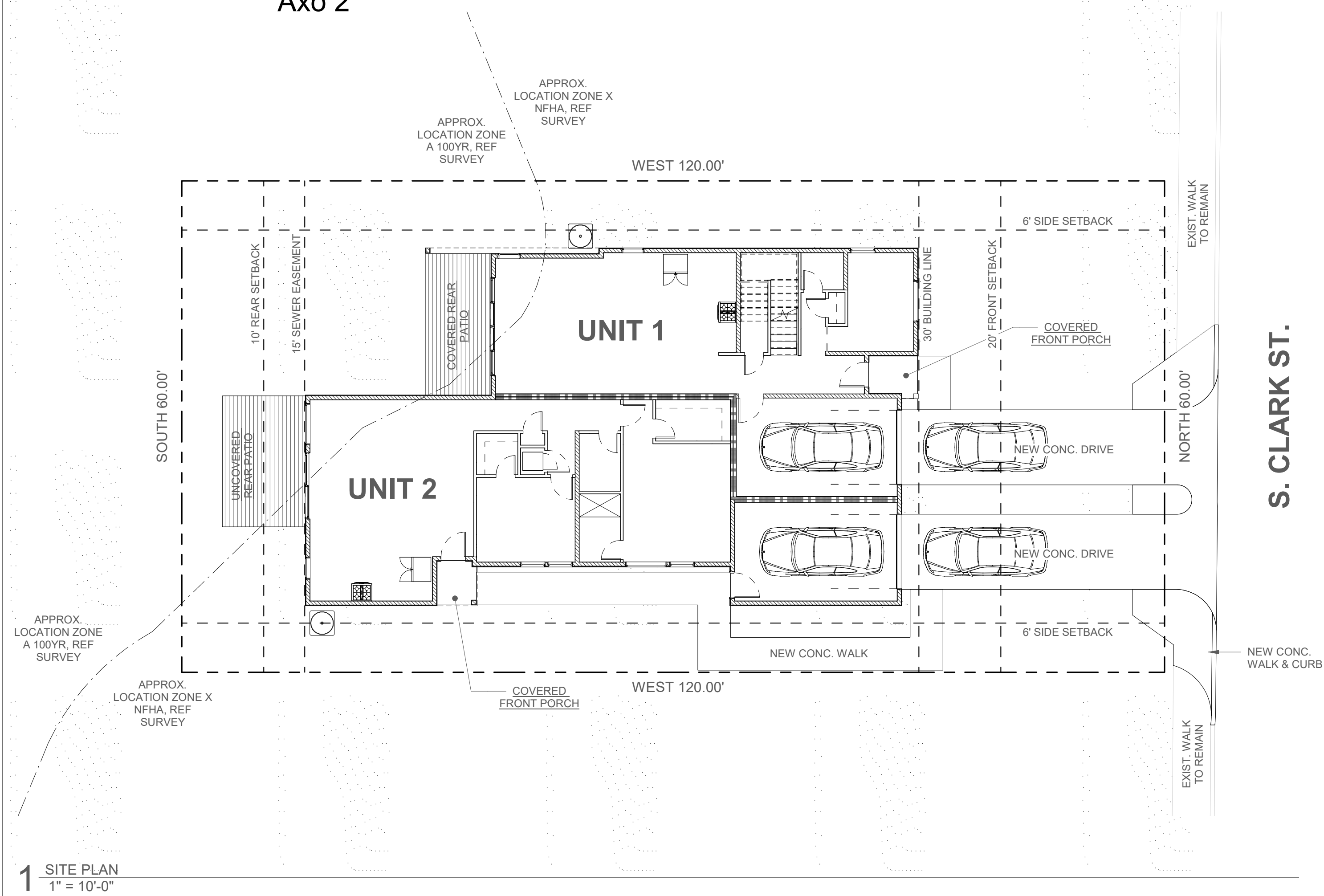
A-101



Axo 1



Axo 2

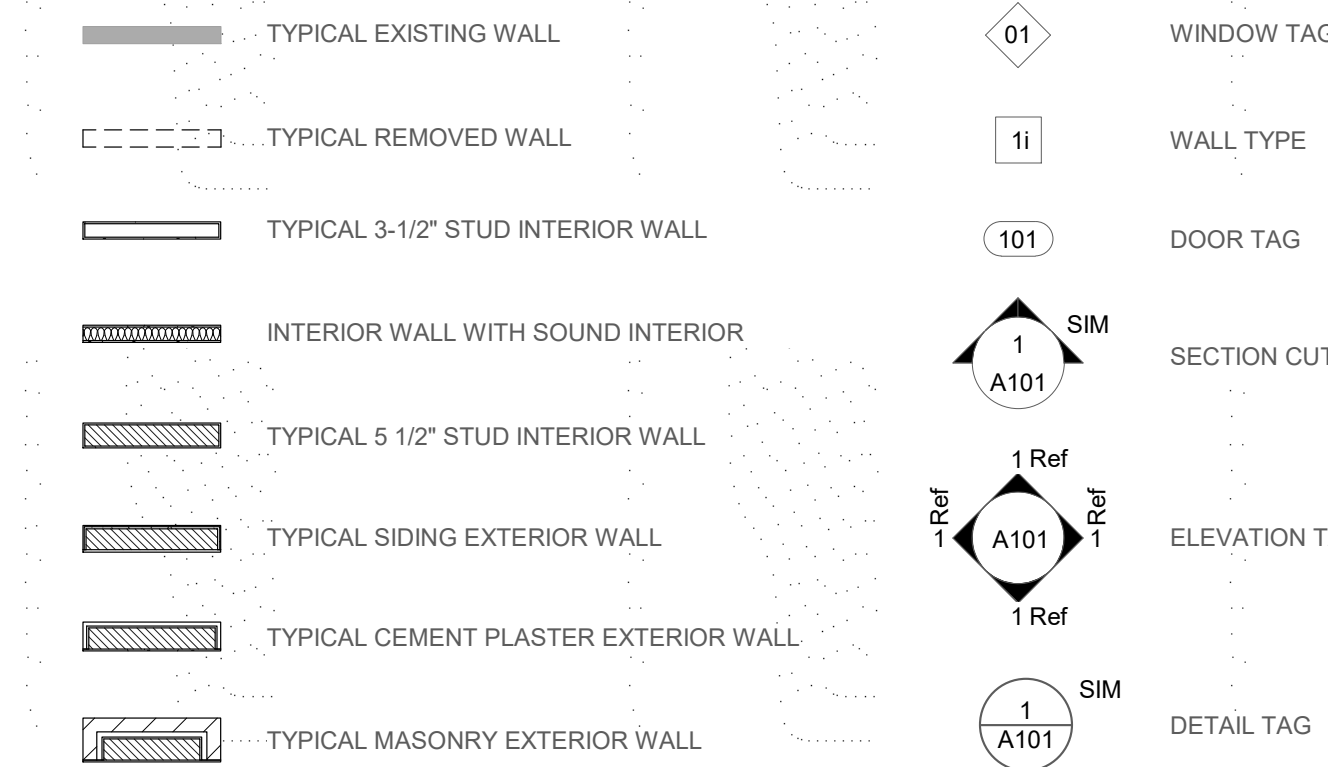


1 SITE PLAN
1" = 10'-0"

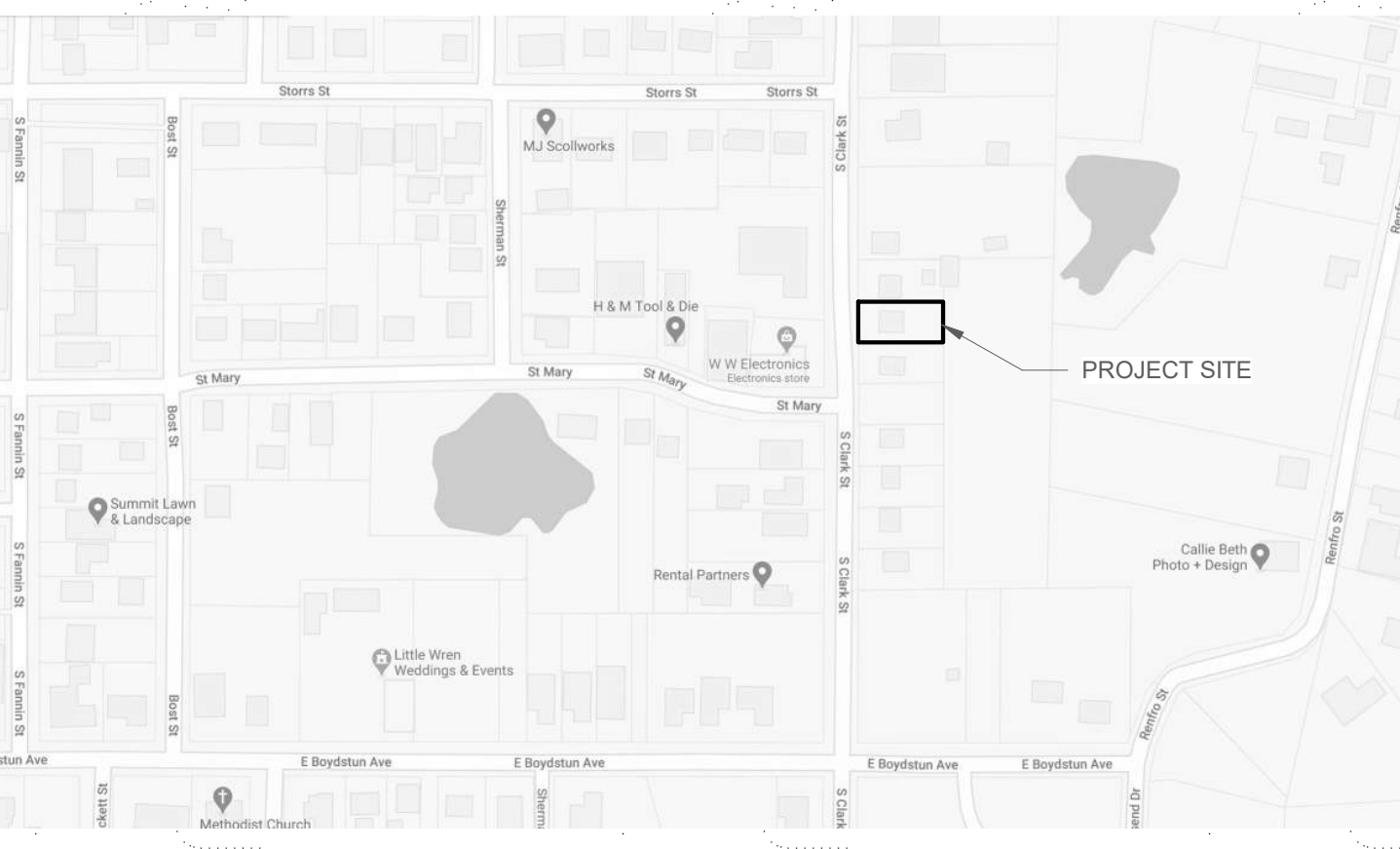
GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRVING/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED. I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R312 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND



LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER
CASTRO DEVELOPMENT
1006 CLERMONT ST.
DALLAS, TX 75223

CONTACT:
JASON CASTRO
214.232.2750
JASON@CASTROPROPERTYGROUP.COM

ARCHITECT
OBJECT & ARCHITECTURE
4815 TERRY STREET
DALLAS, TX 75223

CONTACT:
RYAN M. WITHROW
214.240.1995
RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE

ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087

CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY

LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLEX)

FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

AREA CALCULATIONS

CONDITIONED AREAS:	AREA
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	253 SQ.FT.
UNIT 1 GARAGE AREA:	288 SQ.FT.
UNIT 2 GARAGE AREA:	29 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	152 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	28 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	207 SQ.FT.
TOTAL COVERED PORCHES:	
LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,292 SQ.FT.
COVERAGE:	31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PROOF COMMENT

SHEET ISSUE DATE

01/15/2021



Object & Architecture

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Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100



511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.

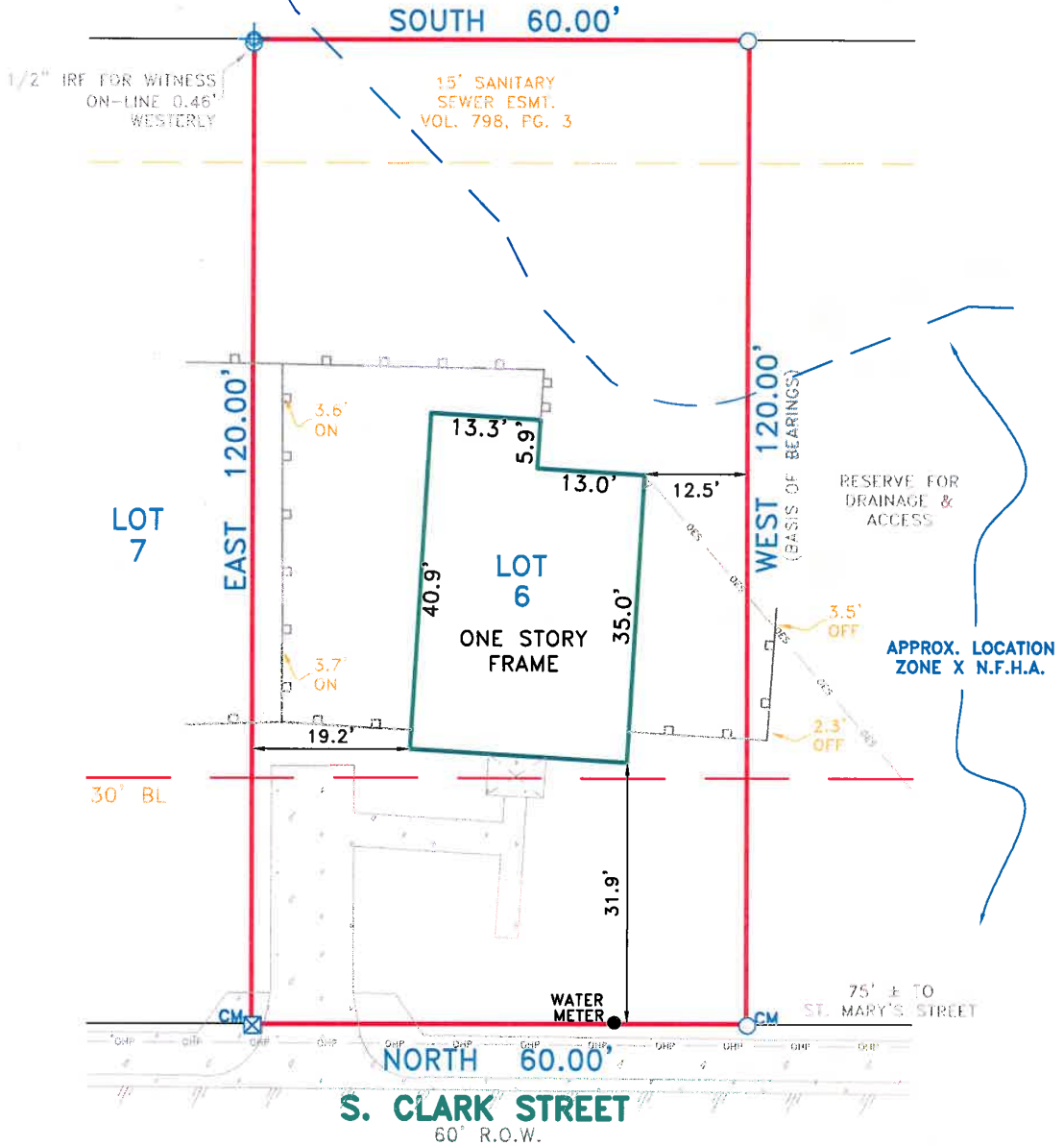
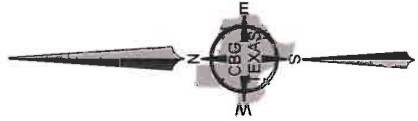


LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ⊕ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- I — IRON FENCE
- X — BARBED WIRE
- □ — DOUBLE SIDED WOOD FENCE
- / — EDGE OF ASPHALT
- / — EDGE OF GRAVEL
- ▭ CONCRETE
- ▭ COVERED AREA
- ▭ BRICK
- ▭ STONE

APPROX. LOCATION ZONE A 100YR 48397C0040L DATE 09/26/2008

JO KAY HARRIS GLASS, AS HER SOLE AND SEPERATE PROPERTY INST.# 20160000012322



EXCEPTIONS:

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ

Scale: 1" = 20'

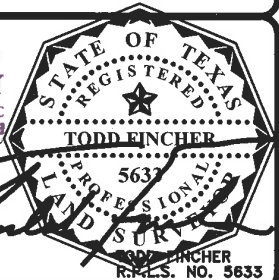
Date: 7-30-2020

GF No.: 20-509065-RL

Job No. 2013905



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: _____
Purchaser
Date: _____
Purchaser

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



511 S Clark Street



512 S Clark Street



513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street

Write a description for your map.

Legend



Google Earth

©2020 Google
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5.55 ft



406, 500, & 502 Storrs Street

Write a description for your map.

Legend



Google Earth

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5.81 ft

504-A & 504-B Storrs Street

Legend



Google Earth

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4.85 ft

510 & 512 Storrs Street

Legend



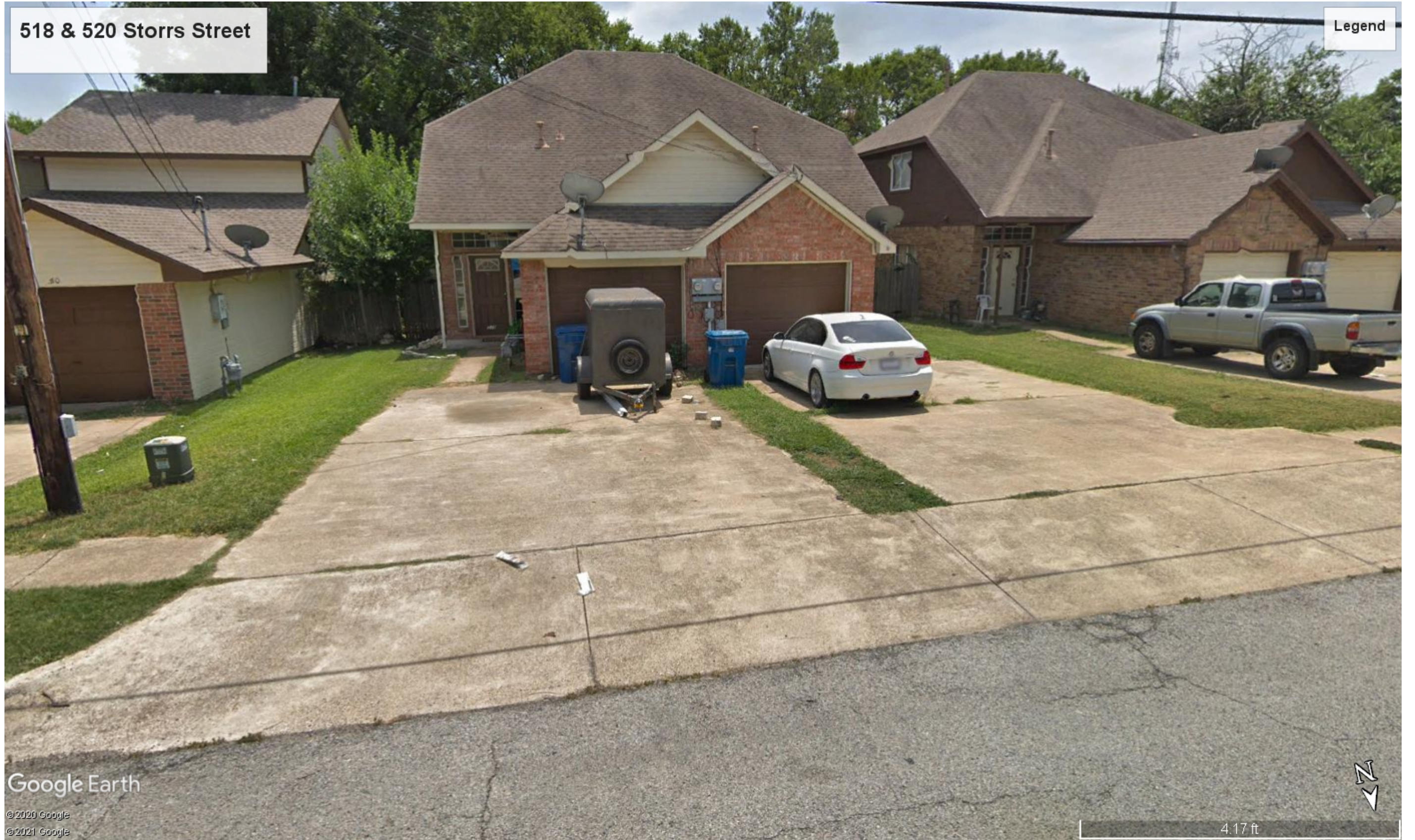
Google Earth

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©2021 Google

5.46 ft

518 & 520 Storrs Street

Legend



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4.17 ft

514 & 516 Storrs Street

Legend



Google Earth

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4.13 ft



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a *duplex* in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a two-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF MARCH, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

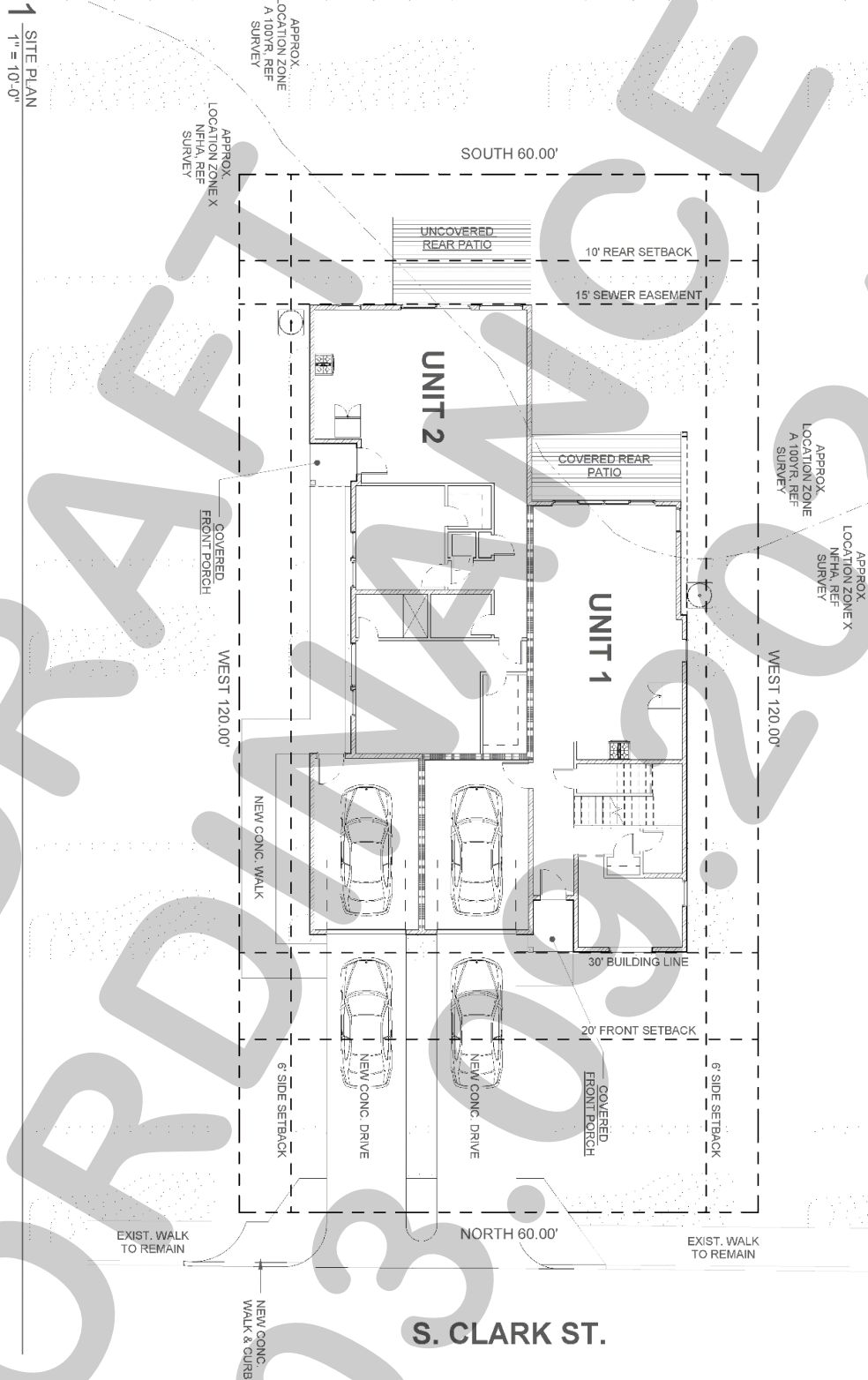
Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

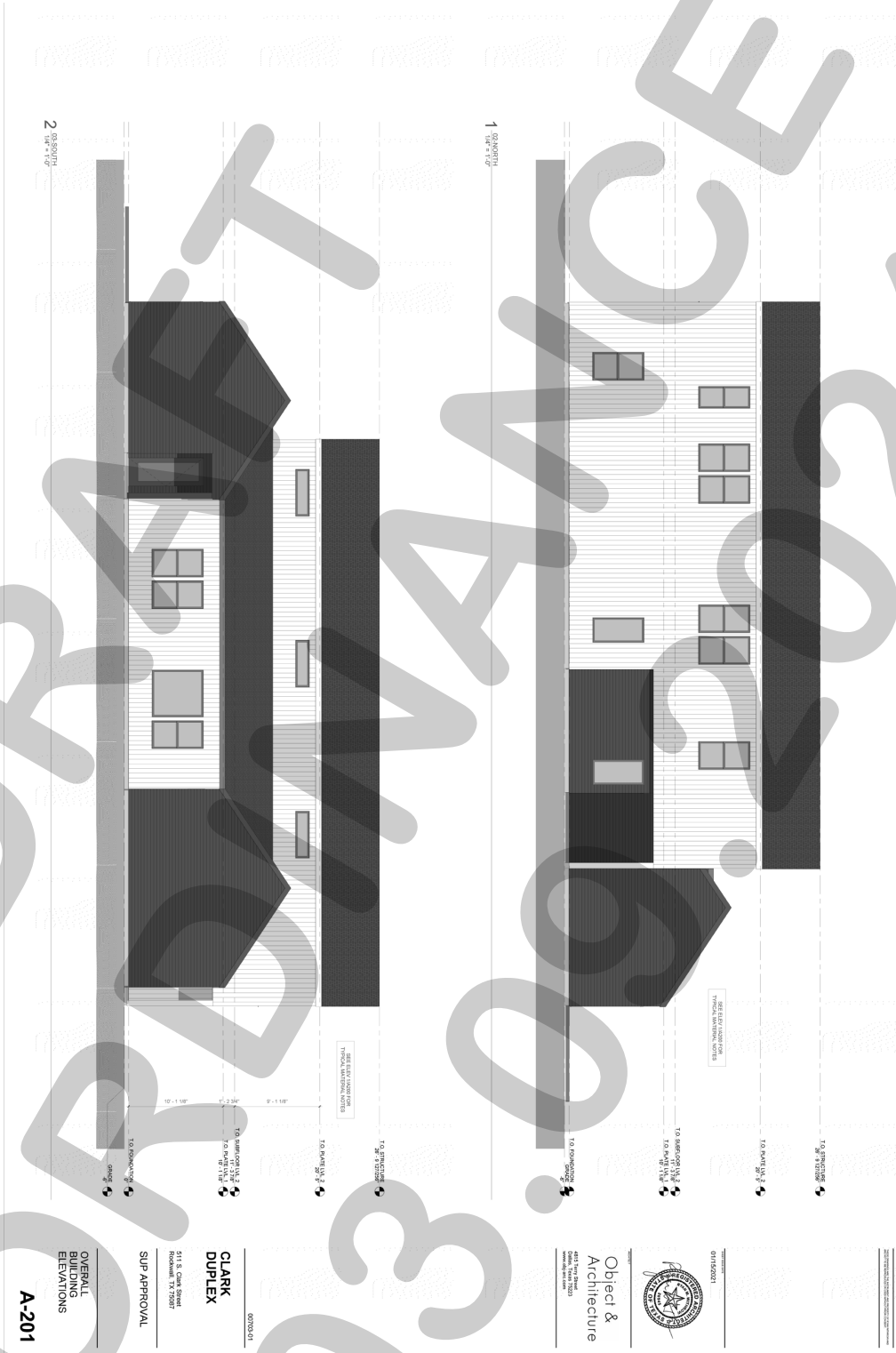
Legal Description: Lot 6, Harris Addition



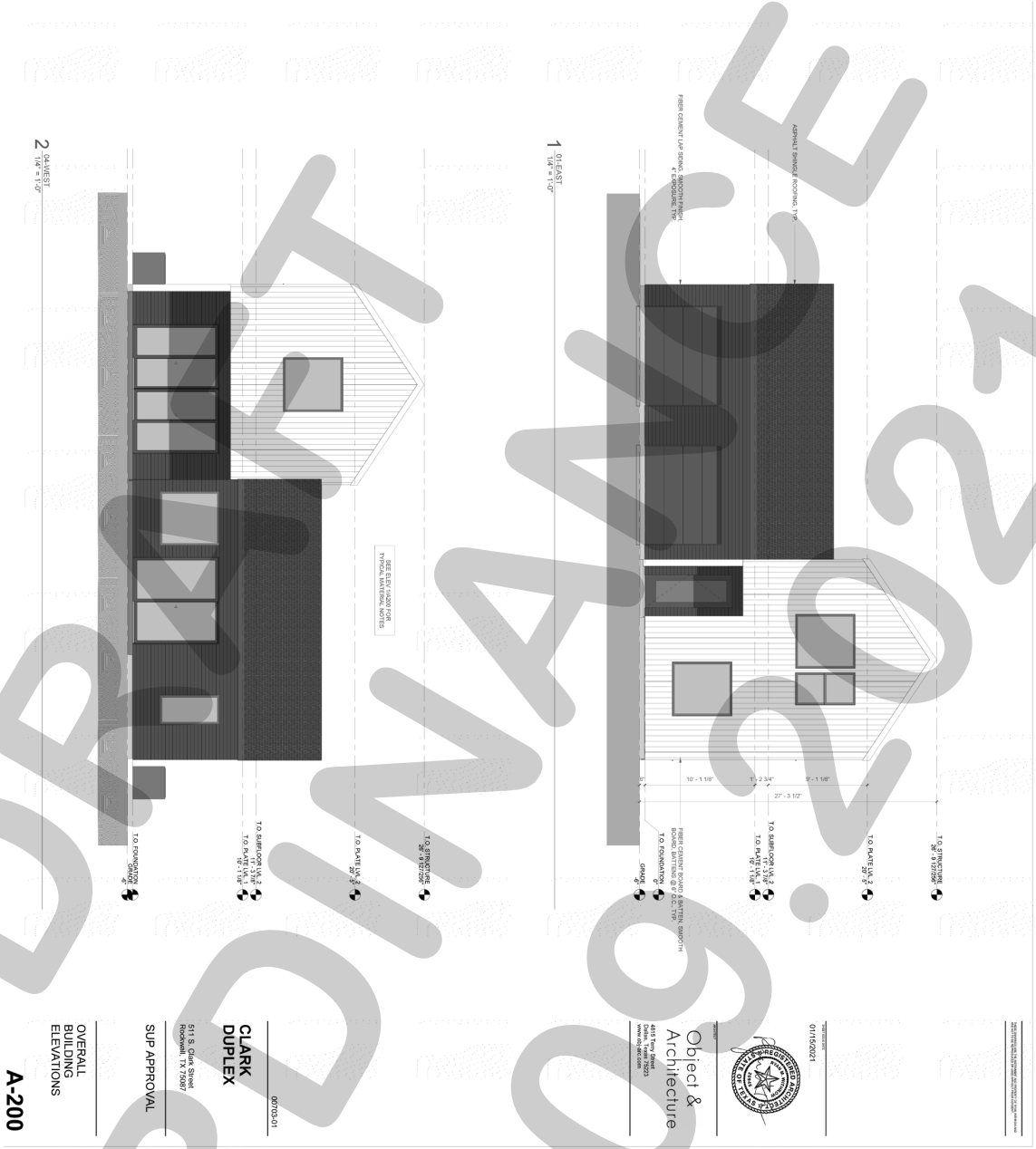
**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**



**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Juan Maldonado
CASE NUMBER: Z2021-004; *Specific Use Permit (SUP) for a Residential Infill for 418 Perch Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Juan Maldonado for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 890, Block E, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 418 Perch Road, and take any action necessary.

BACKGROUND

According to the Rockwall Central Appraisal District (RCAD), a 609 SF single-family home was constructed on the subject property in 1955. On April 23, 1968, the subject property was platted as Lot 890 of the Rockwall Lake Properties Development No. 1 Addition. On February 17, 2009, the subject property was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with Ordinance No. 16-01, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On January 21, 2021, the City of Rockwall issued a demolition permit [*RES2021-316*] to allow for the demolition of the existing 609 SF single-family home.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 418 Perch Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land, two (2) vacant parcels (425 & 437 Bass Road) and two (2) parcels with single-family homes (436 Perch Road and 451 Bass Road). All four (4) properties are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Bass Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this are several parcels of land with single-family homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property is the intersection of Sunfish Road and Perch Road, which are both identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land with single-family homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

East: Directly east of the subject property is Perch Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are several parcels of land with single-family homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses.

West: Directly west of the subject property Sunfish Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.115-acre parcel of vacant land zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Bass Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this are several parcels of land with single-family homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Perch Road and Sunfish Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Perch Road, Sunfish Road, and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face southeast towards Perch Road.
Year Built	1975-2015	N/A
Building SF on Property	894 SF – 2,848 SF	2,245
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 12-25-Feet	20-Feet
Side	The side yard setbacks are 0-32-Feet.	5-Feet & 6-Feet
Rear	The rear yard setbacks are greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Brick
Paint and Color	Red, Blonde, Grey, White, & Green	N/A
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	All garages are flat-front entry.	The garage will be a flat-front entry).

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing to put the garage 11-feet, 9-inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

According to the *Lot Dimensional Requirements* within Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] the minimum side yard setback adjacent to a street is 20-feet. In this case, the applicant is proposing a six (6) foot side yard setback. Typically, these types of request are sent to the Board of Adjustments (BOA); however, Planned Development District 75 (PD-75) allows the City Council to consider a special request to the standards of *Ordinance No. 16-01* pending the request does not relate to land use. According to Planned Development District 75 (PD-75), “(t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision (*i.e. Area 1 and Area 2 as depicted in Exhibit ‘B’ [the concept plan] of this ordinance*). Such requests may include, but not necessarily be limited to the use of alternate building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department.” In this case, should the Planning and Zoning Commission and City Council choose to grant the applicant’s request, the exception would allow for a reduction of 14-feet in the required setback. Staff should note that based on the aerial images very few if any homes meet the required 20-foot building setback.

With the exception of the items noted above, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Perch Road and Sunfish Road. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 23, 2021, staff mailed 196 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park Homeowner’s Associations (HOAs), which was the only HOA’s/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 418 Perch Road

SUBDIVISION

LOT 890 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Juan Maldonado

APPLICANT

CONTACT PERSON Juan Maldonado

CONTACT PERSON

ADDRESS 17226 Wynn Joyce

ADDRESS

CITY, STATE & ZIP Garland, TX, 75043

CITY, STATE & ZIP

PHONE 214-228-7257

PHONE

E-MAIL skillfulmendoza@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Juan Maldonado [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF February, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF February, 2021.

OWNER'S SIGNATURE Juan Maldonado

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Elizabeth Morgan



MY COMMISSION EXPIRES 02-28-2021



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

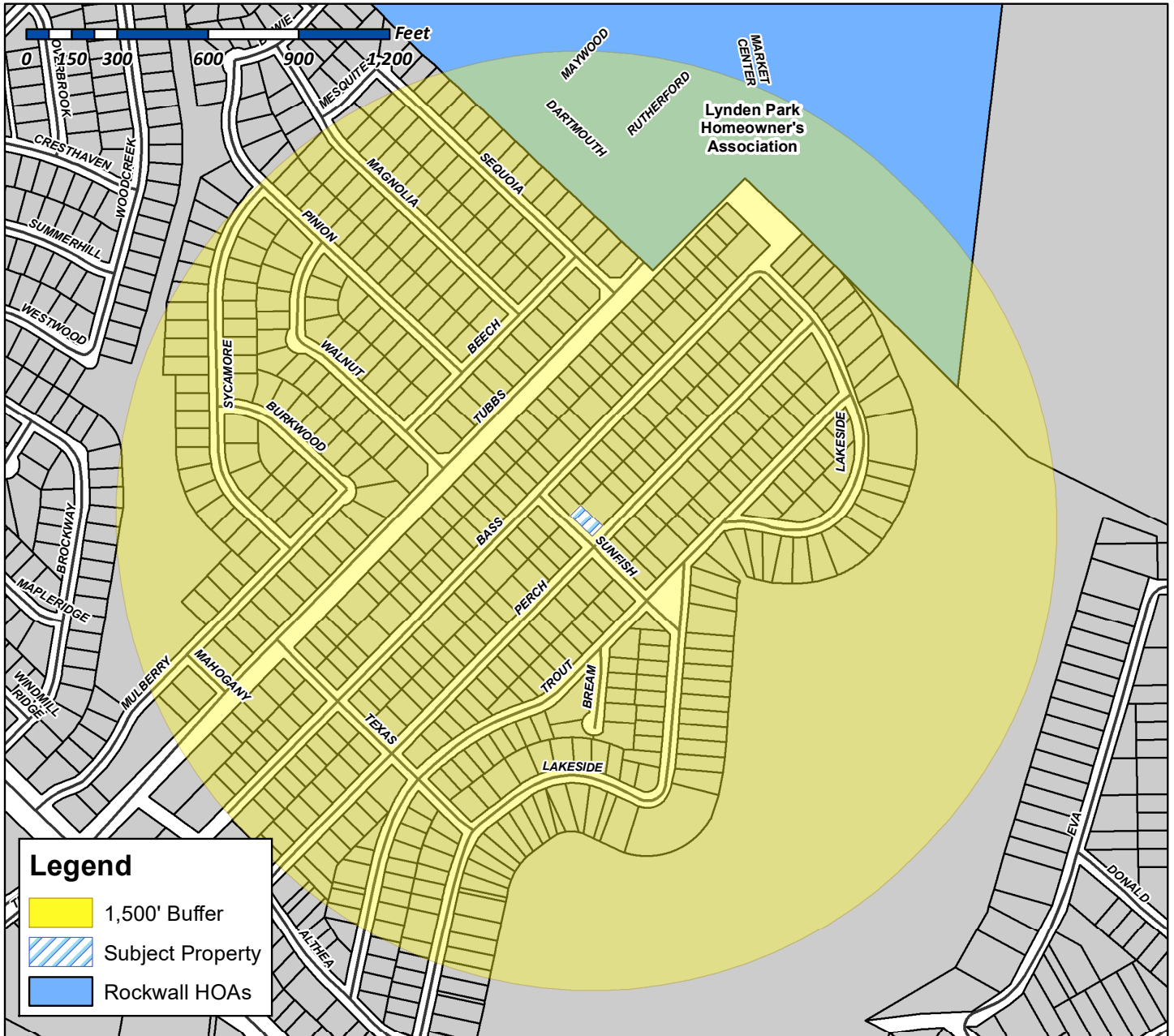




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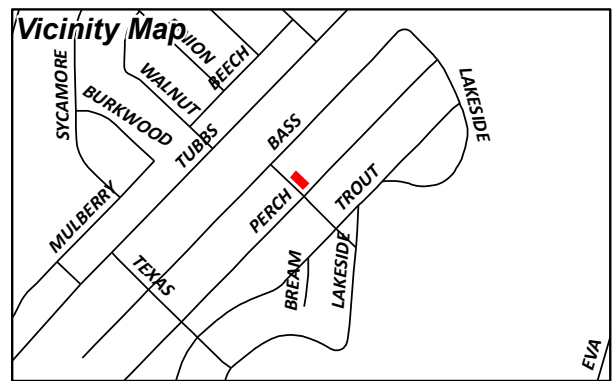


Legend

- 1,500' Buffer
- Subject Property
- Rockwall HOAs

Case Number: Z2021-004
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: PD-75
Case Address: 418 Perch Road

Date Created: 2/18/2021
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Tuesday, February 23, 2021 10:34 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-004]
Attachments: HOA Map (02.18.2021).pdf; Public Notice (02.18.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 26, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 9, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 15, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-004 SUP for Residential Infill at 418 Perch Road

Hold a public hearing to discuss and consider a request by Juan Maldonado for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 890, Block E, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 418 Perch Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

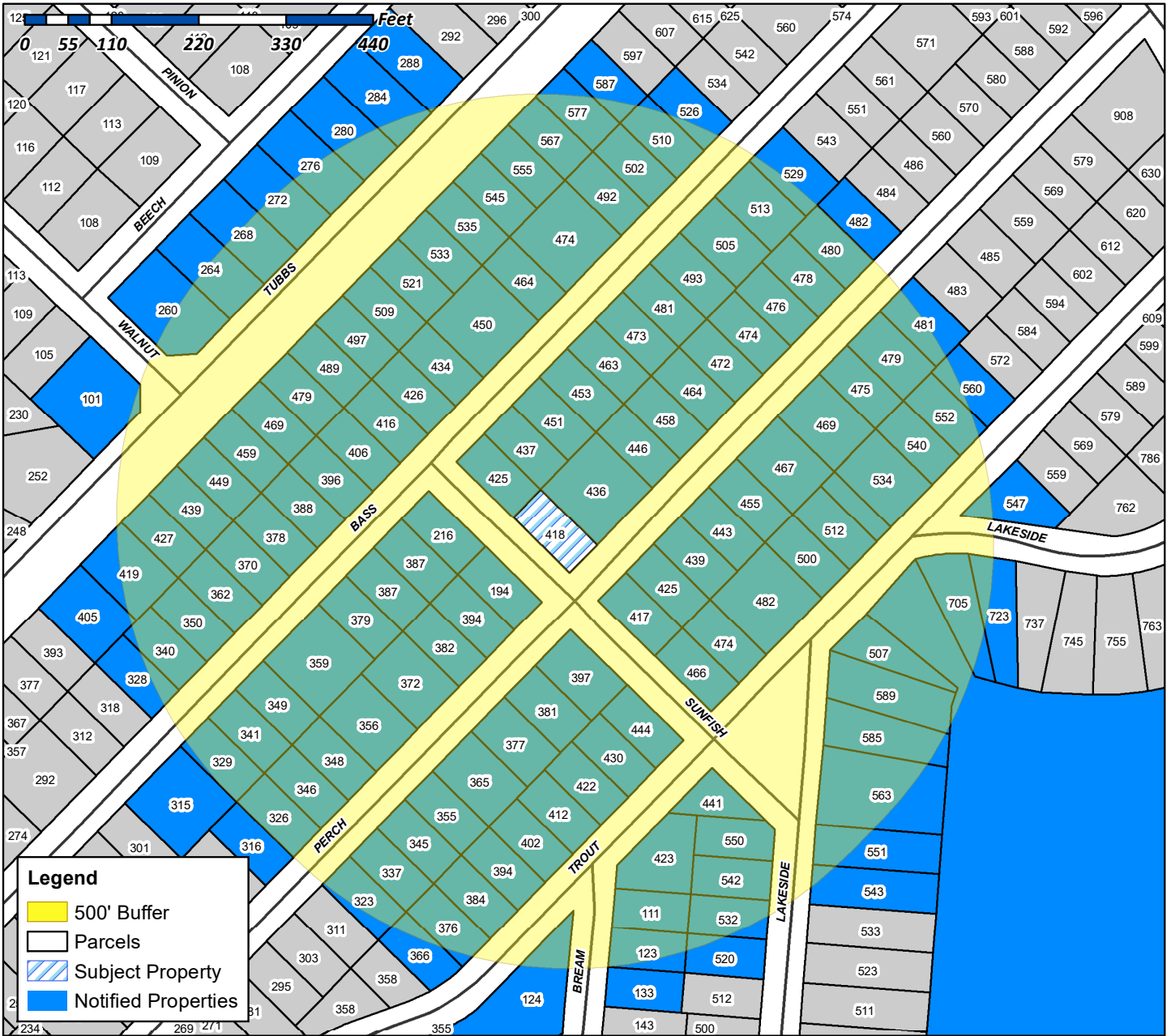
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City of Rockwall

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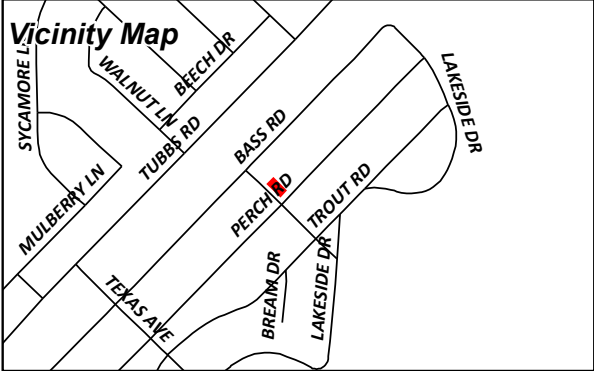


Legend

- 500' Buffer
- Parcels
- Subject Property
- Notified Properties

Case Number: Z2021-004
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: PD-75
Case Address: 418 Perch Road

Date Created: 2/18/2021
 For Questions on this Case Call (972) 771-7745



FREENEY MARIA
101 WALNUT LN
ROCKWALL, TX 75032

SILVA MANUEL AVALOS
1041 E FM 552
ROCKWALL, TX 75087

WHITE CURTIS C
10902 BARBAROSA DR
DALLAS, TX 75228

MURPHY KIM
111 BREAMDR
ROCKWALL, TX 75032

US REO LLC SERIES M
1200 JUPITER ROAD #940414
PLANO, TX 75094

REYES PERLA JOCELYN
123 BREAM DRIVE
ROCKWALL, TX 75032

CRUMLEY RONALD LEE
124 BREAM DR
ROCKWALL, TX 75032

FORNEY MEADOW LLC
12801 N CENTRAL EXPY SUITE 1675
DALLAS, TX 75243

BT ORIOLE ONE LLC
12801 N CENTRAL EXPY SUITE 1675
DALLAS, TX 75243

WB MAGNOLIA LLC
12801 N CENTRAL EXPY STE 1675
DALLAS, TX 75243

MENDEZ GLORIA
132 PINION LN
ROCKWALL, TX 75032

GARZA GABRIELA J
133 BREAM DR
ROCKWALL, TX 75032

YIM STEVE K AND ELLA K
1407 LANDSFORD DR
ALLEN, TX 75013

BURCHFIEL FAMILY SEPTEMBER 2002
REVOCABLE TRUST
1500 E DANA PL
ORANGE, CA 92866

AGUILLON JOSE LUIS
163 BASS RD
ROCKWALL, TX 75032

DETWEILER RICHARD P AND SHANGTING
17839 BENCHMARK DR
DALLAS, TX 75252

PAIGE RYAN PROPERTIES
1816 DOVES LANDING
WYLIE, TX 75098

FAIR TRAVIS
1905 GLENBROOK MEADOWS DR
GARLAND, TX 75040

JOSEPH SABU & ANITAH
194 SUNFISH RD
ROCKWALL, TX 75032

DAVIS BLAKE C AND KATHRYN E
2 PINTAIL PT
HEATH, TX 75032

TRUONG LONG & TUYET
2037 SUNNY CIR
ROCKWALL, TX 75032

MILLER MICHAEL & MELODIE AND
JAIME LOPEZ
20576 FM 2755
ROYSE CITY, TX 75189

AGUILLON PABLO & JULIA
2080 GARRISON DR
ROCKWALL, TX 75032

MURPHY KIM
215 LAKEVIEW DR
ROCKWALL, TX 75087

HOPFAUF RICK
216 SUNFISH RD
ROCKWALL, TX 75032

OSORNIO ARTURO AND JENNIFER GUEVARA
2308 WHITE RD
ROCKWALL, TX 75032

THREE STARS INVESTMENT GROUP INC
2524 RIVER OAKS LN
MESQUITE, TX 75150

AMH 2015-1 BORROWER LLC
260 BEECH DR
ROCKWALL, TX 75032

CHANTACA MAURICIO & IRMA
261 TUBBS RD
ROCKWALL, TX 75032

DAVIS BLAKE C AND KATHRYN E
264 BEECH DR
ROCKWALL, TX 75032

POTTS DANNY & VONDA
268 BEECH DR
ROCKWALL, TX 75032

CLARK ASHLEY MICHELLE
272 BEECH DRIVE
ROCKWALL, TX 75032

ILCHENKO LIUDMYLA
2738 RAINTREE CIR
CARROLLTON, TX 75006

ANDERSON TROY
276 BEECH DR
ROCKWALL, TX 75032

SALEHI DIANOOSH
280 BEECH DR
ROCKWALL, TX 75032

CHAN RYAN Y
284 BEECH DR
ROCKWALL, TX 75032

SOMMERS KAREN LEE
288 BEECH DR
ROCKWALL, TX 75032

ANDERSON TROY
3049 S COYOTE CANYON
MESA, AZ 85212

AMH 2015-1 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

520 LAKESIDE LLC
3105 CORNELL AVE
DALLAS, TX 75205

OLIVAS ROSA LINA MEZA
315 BASS
ROCKWALL, TX 75032

TRAN THERESA THU PHUONG
316 PERCH ROAD
ROCKWALL, TX 75032

ALMAZAN LORENZO R & IRMA O SANTOS
323 PERCH RD
ROCKWALL, TX 75032

ESTRADA GUSTAVO
326 PERCH RD
ROCKWALL, TX 75032

CORTEZ MANUEL
328 BASS RD
ROCKWALL, TX 75032

YIM STEVE K AND ELLA K
329 BASS RD
ROCKWALL, TX 75032

JIZMEJIAN VARTAN &
SONYA KOVKLADZHYN
33171 ELISA DR
DANA POINT, CA 92629

ZALDIVAR CARLOS N
337 PERCH RD
ROCKWALL, TX 75032

RUBIO LORENA L & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

JIMENEZ AGUSTIN &
GUMERCINDA LIMON
340 BASS RD
ROCKWALL, TX 75032

CHANTACA EMILIANO & MARIA
341 BASS RD
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
345 PERCH DR
ROCKWALL, TX 75032

OSORNIO ARTURO AND JENNIFER GUEVARA
345 PERCH RD
ROCKWALL, TX 75032

SILVA BERTHA
346 PERCH RD
ROCKWALL, TX 75032

JIZMEJIAN VARTAN &
SONYA KOVKLADZHYN
348 PERCH RD
ROCKWALL, TX 75032

MILLER MICHAEL & MELODIE AND
JAIME LOPEZ
349 BASS RD
ROCKWALL, TX 75032

LIU YONGBO
LIU YONGBO
350 BASSRD
ROCKWALL, TX 75032

HOME SFR BORROWER LLC
C/O HAVENBROOK HOMES
3505 KOGER BLVD SUITE 400
DULUTH, GA 30096

ALEJO CECILIA AND
MARTIN NARVAEZ
355 PERCH ROAD
ROCKWALL, TX 75032

WHITE CURTIS C
356 PERCH RD
ROCKWALL, TX 75032

JIMENEZ NESTOR J AND
SAMIRA ROSAS JIMENEZ LORENA
359 BASS RD
ROCKWALL, TX 75032

VELASCO GERARDO GRANADOS AND ADRIANA
ZAPATERO PUERTO
362 BASS RD
ROCKWALL, TX 75032

WANDA REALTY LLC
SERIES 455 PERCH ROAD
3621 BINKLEY AVE
DALLAS, TX 75205

FIG RE TEXAS I LLC
365 PERCH RD
ROCKWALL, TX 75032

LIMON AMADOR & SEFENINA
366 TROUT ST
ROCKWALL, TX 75032

MALDONADO CARLOS & MARIA E
370 BASS RD
ROCKWALL, TX 75032

AGUILLON PABLO & JULIA
372 PERCH RD
ROCKWALL, TX 75032

COX DANNY SHAYNE
376 TROUT RD
ROCKWALL, TX 75032

BT ORIOLE ONE LLC
377 PERCH RD
ROCKWALL, TX 75032

CHANTACA MAURICIO & IRMA
378 BASS RD
ROCKWALL, TX 75032

ALVARADO MARGARITA S
379 BASS RD
ROCKWALL, TX 75032

MARSH CYNTHIA & CODY
381 PERCH ROAD
ROCKWALL, TX 75032

CARRANZA ALEJANDRO & MARIA
382 PERCH RD
ROCKWALL, TX 75032

ESTRADA SALVADOR A & MARIA I
384 TROUT STREET
ROCKWALL, TX 75032

LONAC SLAVICA
387 BASS RD
ROCKWALL, TX 75032

HOPFAUF RICK
387 BASSRD
ROCKWALL, TX 75032

MYHOMESTEAD PARTNERS LLC
388 BASS RD
ROCKWALL, TX 75032

LE THUY
394 PERCH RD
ROCKWALL, TX 75032

ESTRADA GERARDO & FRANCISCA
SALADORE ESTRADA
394 TROUT ST
ROCKWALL, TX 75032

GUTIERREZ JAVIER
396 BASS RD
ROCKWALL, TX 75032

CARRILLO GERARDO
397 PERCH RD
ROCKWALL, TX 75032

MENDEZ GLORIA
402 TROUT RD
ROCKWALL, TX 75032

KENDALL MARCIA W
405 TUBBS
ROCKWALL, TX 75032

SILVA MANUEL AVALOS
406 BASS RD
ROCKWALL, TX 75032

JACKSON PHYLLIS ELAINE
412 TROUT ST
ROCKWALL, TX 75032

ALVISO HERADIO V
416 BASS ROAD
ROCKWALL, TX 75032

FORNEY MEADOW LLC
417 PERCH RD
ROCKWALL, TX 75032

MONTELONGO ERVEY
418 PERCH RD
ROCKWALL, TX 75032

CAMACHO ALBERTO CAMACHO & JOSEFINA
CARMONA DE CAMACHO
419 TUBBS RD
ROCKWALL, TX 75032

VALADEZ JOANA ARLETTE FLORES 422 TROUT RD ROCKWALL, TX 75032	YAMASA CO LTD., A JAPANESE CORPORATION 423 TROUT RD ROCKWALL, TX 75032	TRANSITO AND MARTHA CASTELLANOS LIVING TRUST TRANSITO A CASTELLANOS AND MARHA L CASTELLANOS- TRUSTEES 425 BASS RD ROCKWALL, TX 75032
AGUILAR BONIFACIO 425 PERCH RD ROCKWALL, TX 75032	DETWEILER RICHARD P AND SHANGTING 426 BASS RD ROCKWALL, TX 75032	ZAPIEN LEONARDO & ANA MARIA DOMINGUEZ 427 TUBBS RD ROCKWALL, TX 75032
LEATHERS FRAN 430 TROUT RD ROCKWALL, TX 75032	ROSAS ALICIA 4314 STATE HIGHWAY 276 ROCKWALL, TX 75032	MORALES JOSE L 434 BASS RD ROCKWALL, TX 75032
BT ORIOLE ONE LLC 436 PERCH RD ROCKWALL, TX 75032	MBA CUSTOM HOMES LLC 437 BASS RD ROCKWALL, TX 75032	ANAYA JUAN C & RAUL 439 PERCH RD ROCKWALL, TX 75032
FAIR TRAVIS 439 TUBBS RD ROCKWALL, TX 75032	DELGADO RAUL & ELIA 441 TROUT DR ROCKWALL, TX 75032	FACUNDO JOSE C 443 PERCH RD ROCKWALL, TX 75032
ROSAS ALICIA 444 TROUT RD ROCKWALL, TX 75032	OCHOA GABRIEL AND RAFAEL DESANTIAGO PIEDRA 446 PERCH ROAD ROCKWALL, TX 75032	S AND S FAITH FUND LLC 449 TUBBS RD ROCKWALL, TX 75032
CLARK SEAN D & KATHERINE R 450 BASS RD ROCKWALL, TX 75032	DETWEILER RICHARD P AND SHANGTING 451 BASSRD ROCKWALL, TX 75032	MNSF T2 SPE LLC 453 BASS RD ROCKWALL, TX 75032
WANDA REALTY LLC SERIES 455 PERCH ROAD 455 PERCH ROCKWALL, TX 75032	MARQUEZ ANA MARIA MERCEDES GRANADOS 458 PERCH ROAD ROCKWALL, TX 75032	AVITIA JESUS 459 TUBBS RD ROCKWALL, TX 75032
CHAN RYAN Y 4614 KOCUREK STREET AUSTIN, TX 78723	LUNA JOSE ALFREDO LOPEZ 463 BASS RD ROCKWALL, TX 75032	BURCHFIEL FAMILY SEPTEMBER 2002 REVOCABLE TRUST 464 BASS RD ROCKWALL, TX 75032
TRUONG LONG & TUYET 464 PERCHRD ROCKWALL, TX 75032	ACOSTA JESUS ETUX 466 TROUT ST ROCKWALL, TX 75032	MIER MARCO A AND CELINA DEJ RESENDIZ 467 PERCH RD ROCKWALL, TX 75032

JIMENEZ JOSE MODESTO & FRANCISCA
469 PERCH RD
ROCKWALL, TX 75032

THREE STARS INVESTMENT GROUP INC
469 TUBBS RD
ROCKWALL, TX 75032

WB MAGNOLIA LLC
472 PERCH RD
ROCKWALL, TX 75032

RENOVA ROSALBA
473 BASS RD
ROCKWALL, TX 75032

GAMEZ CHRISTOPHER
474 BASS RD
ROCKWALL, TX 75032

MORENO NOE & ORALIA
474 BASS RD
ROCKWALL, TX 75032

CONTRERAS DAVID & ELIZABETH
474 PERCH RD
ROCKWALL, TX 75032

ORTIZ CENOBIO & MARIA T
474 TROUT ST
ROCKWALL, TX 75032

LI FAMILY TRUST
NANYING LI AND JIANRU SONG LI
475 PERCH RD
ROCKWALL, TX 75032

NEVAREZ LUIS & ALMA
476 PERCH
ROCKWALL, TX 75032

MARTINEZ PEDRO
478 PERCH RD
ROCKWALL, TX 75032

GRASMICK RACHEL AND
RONNY BERMUDEZ
479 PERCH RD
ROCKWALL, TX 75032

NOBLE JAMES & LINDA
479 TUBBS RD
ROCKWALL, TX 75032

CARRIZALEZ JOSE NINO
FLORENCIO CARRIZALEZ
480 PERCH RD
ROCKWALL, TX 75032

LIMON EVARISTO AND ROSALBA RENOVA
481 BASS RD
ROCKWALL, TX 75032

PAIGE RYAN PROPERTIES
481 PERCH RD
ROCKWALL, TX 75032

WHITE LILA P
C/O FRANCISCO N HERNANDEZ
482 PERCH RD
ROCKWALL, TX 75032

ZARATE EMANUEL
482 TROUT STREET
ROCKWALL, TX 75032

AGUILLON JOSE LUIS
489 TUBBS RD
ROCKWALL, TX 75032

GAMEZ CHRISTOPHER
492 BASS
ROCKWALL, TX 75032

LIMON EVARISTO AND ROSALBA RENOVA
493 BASS RD
ROCKWALL, TX 75032

JACKSON LINDA
497 TUBBS RD
ROCKWALL, TX 75032

ILCHENKO LIUDMYLA
500 TROUT RD
ROCKWALL, TX 75032

PENA-RUIZ MARISELA
502 BASS RD
ROCKWALL, TX 75032

ALMARAZ MARIA M
505 BASS RD
ROCKWALL, TX 75032

ANDERSEN HAROLD E AND
CHERYL P AND VERNON L KURPIESKI
507 TROUT ST
ROCKWALL, TX 75032

BECKHAM JAY
509 TUBBS RD
ROCKWALL, TX 75032

PENA JERONIMO & JUANA
510 BASS RD
ROCKWALL, TX 75032

AMAYA MARTIN &
ANA VIGIL
512 TROUT ST
ROCKWALL, TX 75032

LORENZ MICHAEL P AND SABINA
513 BASS RD
ROCKWALL, TX 75032

520 LAKESIDE LLC
520 LAKESIDE DR
ROCKWALL, TX 75032

CARRIZALEZ JOSE NINO
FLORENCIO CARRIZALEZ
520 PERCH RD
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
521 TUBBS RD
ROCKWALL, TX 75032

OGAN LOCKLIN & SHEILA
526 BASSRD
ROCKWALL, TX 75032

RODRIGUEZ MARIA VERONICA
529 BASS RD
ROCKWALL, TX 75032

FORTUNA FRANCISCO AND LUISA
532 LAKESIDE DR
ROCKWALL, TX 75032

LLOYD MUSSAH AND
ALFRED E WOLO
533 TUBBS RD
ROCKWALL, TX 75032

LEATHERS FRAN
5335 COUNTY ROAD 597
FARMERSVILLE, TX 75442

LOMAS JOSE C & ANDREA GUADALUPE
534 TROUT ST
ROCKWALL, TX 75032

RUBIO MARCELINO M &
RITA ESQUEDA ZUNIGA
535 TUBBS RD
ROCKWALL, TX 75032

RODRIGUEZ MARIA M
540 TROUT ST
ROCKWALL, TX 75032

AKUMA AYALEW AND
HIWOT DESIBELEW
542 LAKESIDE DRIVE
ROCKWALL, TX 75032

HOME SFR BORROWER LLC
C/O HAVENBROOK HOMES
543 LAKESIDE DR
ROCKWALL, TX 75032

CHEN XIANSONG
545 TUBBS RD
ROCKWALL, TX 75032

SIMMONS VAN R & TERESA R
547 TROUTRD
ROCKWALL, TX 75032

DELGADO RAUL & ELIA
550 LAKESIDE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
551 LAKESIDEDR
ROCKWALL, TX 75032

OLIVER JERRY & PAMELA
552 TROUT ST
ROCKWALL, TX 75032

PRIETO GUSTAVO & ISABEL DEL ROSARIO
555 TUBBS RD
ROCKWALL, TX 75032

MONTELONGO ERVEY
5558 CR 2526
ROYSE CITY, TX 75189

OSORNIO ARTURO
560 TROUTDR
ROCKWALL, TX 75032

ELIAS ALBERT SOBERANES
563 LAKESIDE DR
ROCKWALL, TX 75032

TRAN DAVID T
567 TUBBSRD
ROCKWALL, TX 75032

SIMMONS VAN R & TERESA R
569 TROUT ST
ROCKWALL, TX 75032

RUBIO LORENA L & ALEJANDRO
577 TUBBSRD
ROCKWALL, TX 75032

US REO LLC SERIES M
585 LAKESIDEDR
ROCKWALL, TX 75032

MAYO JOSHUA ANDREW
587 TUBBS RD.
ROCKWALL, TX 75032

GONZALEZ BENJAMIN & ALICIA G
589 LAKESIDE DR
ROCKWALL, TX 75032

LIU YONGBO
LIU YONGBO
609 BELHAVEN DR
ALLEN, TX 75013

CHEN XIANSONG
609 BELHAVEN DRIVE
ALLEN, TX 75013

LI FAMILY TRUST
NANYING LI AND JIANRU SONG LI
6620 TARANTO CT
ELKGROVE, CA 95757

MNSF T2 SPE LLC
6836 MORRISON BLVD, SUITE 320
CHARLOTTE, NC 28211

ESTRADA NOHEMA M & RODOLFO CARDENAS
705 LAKESIDE DR
ROCKWALL, TX 75032

LOMAS JOSE C & ANDREA GUADALUPE
723 LAKESIDEDR
ROCKWALL, TX 75032

FIG RE TEXAS I LLC
7290 VIRGINIA PARKWAY #3200
MCKINNEY, TX 75071

LONAC SLAVICA
7302 SHAWN DR
ROWLETT, TX 75088

COX DANNY SHAYNE
7425 PEBBLE RIDGE DR
FORT WORTH, TX 76132

SALEHI DIANOOSH
8 CRYSTAL GLEN
ALISO VIEJO, CA 92656

AGUILAR BONIFACIO
862 E 800 S
OREM, UT 84097

ELIAS ALBERT SOBERANES
903 ST PAUL DR #208
RICHARDSON, TX 75080

MYHOMESTEAD PARTNERS LLC
9720 COIT RD STE 220 PMB 306
PLANO, TX 75025

OGAN LOCKLIN & SHEILA
PO BOX 2304
ROCKWALL, TX 75087

S AND S FAITH FUND LLC
PO BOX 2931
GRAPEVINE, TX 76099

YAMASA CO LTD., A JAPANESE CORPORATION
PO BOX 4090
SCOTTSDALE, AZ 85261

KENDALL MARCIA W
PO BOX 497882
GARLAND, TX 75049

TRAN DAVID T
PO BOX 894578
MILILANI, HI 76789

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-004: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Juan Maldonado for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1150-acre parcel of land identified as Lot 890, Block E, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 418 Perch Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-004: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

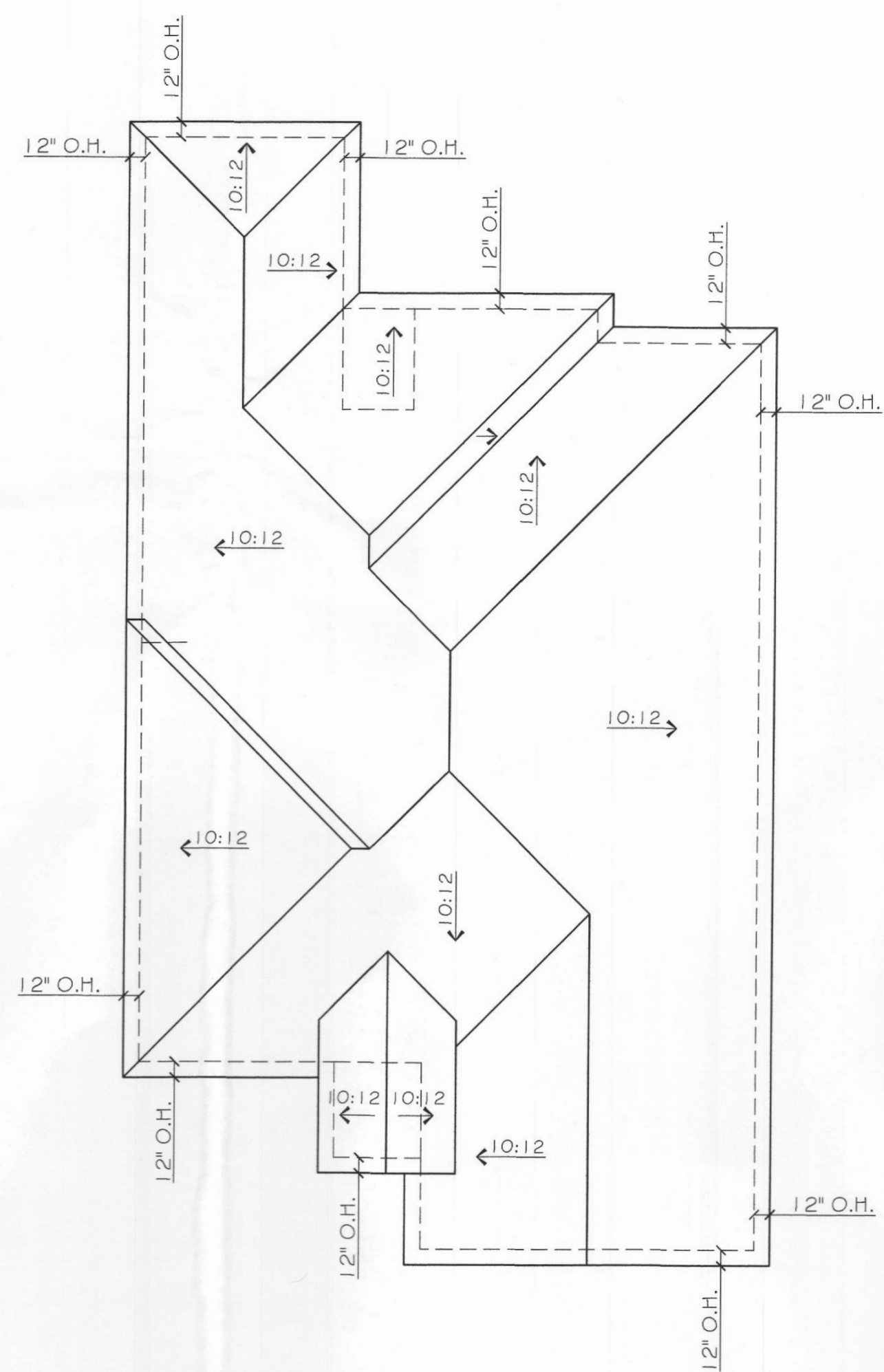
[Redacted area]

Name: [Redacted]

Address: [Redacted]

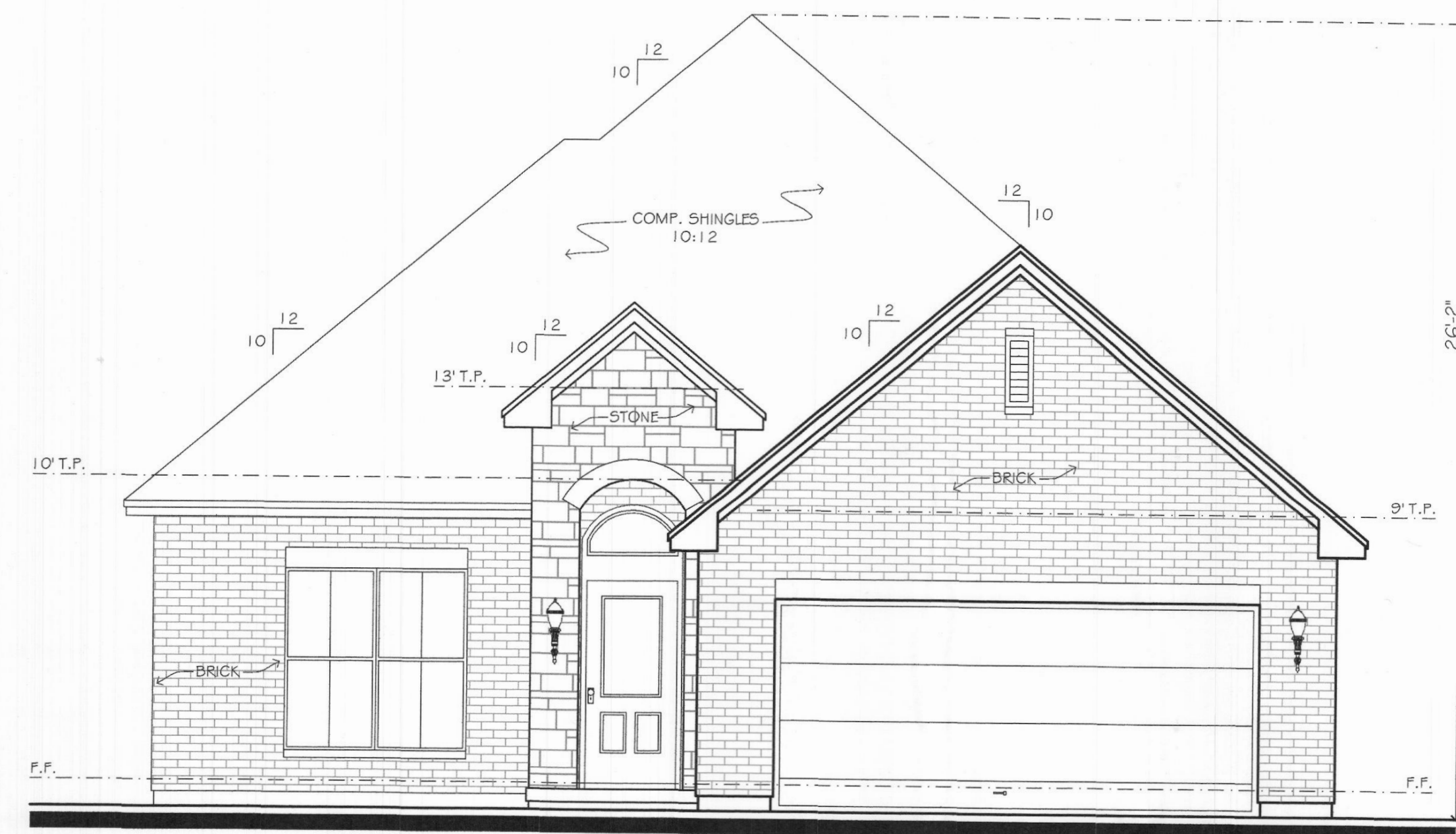
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



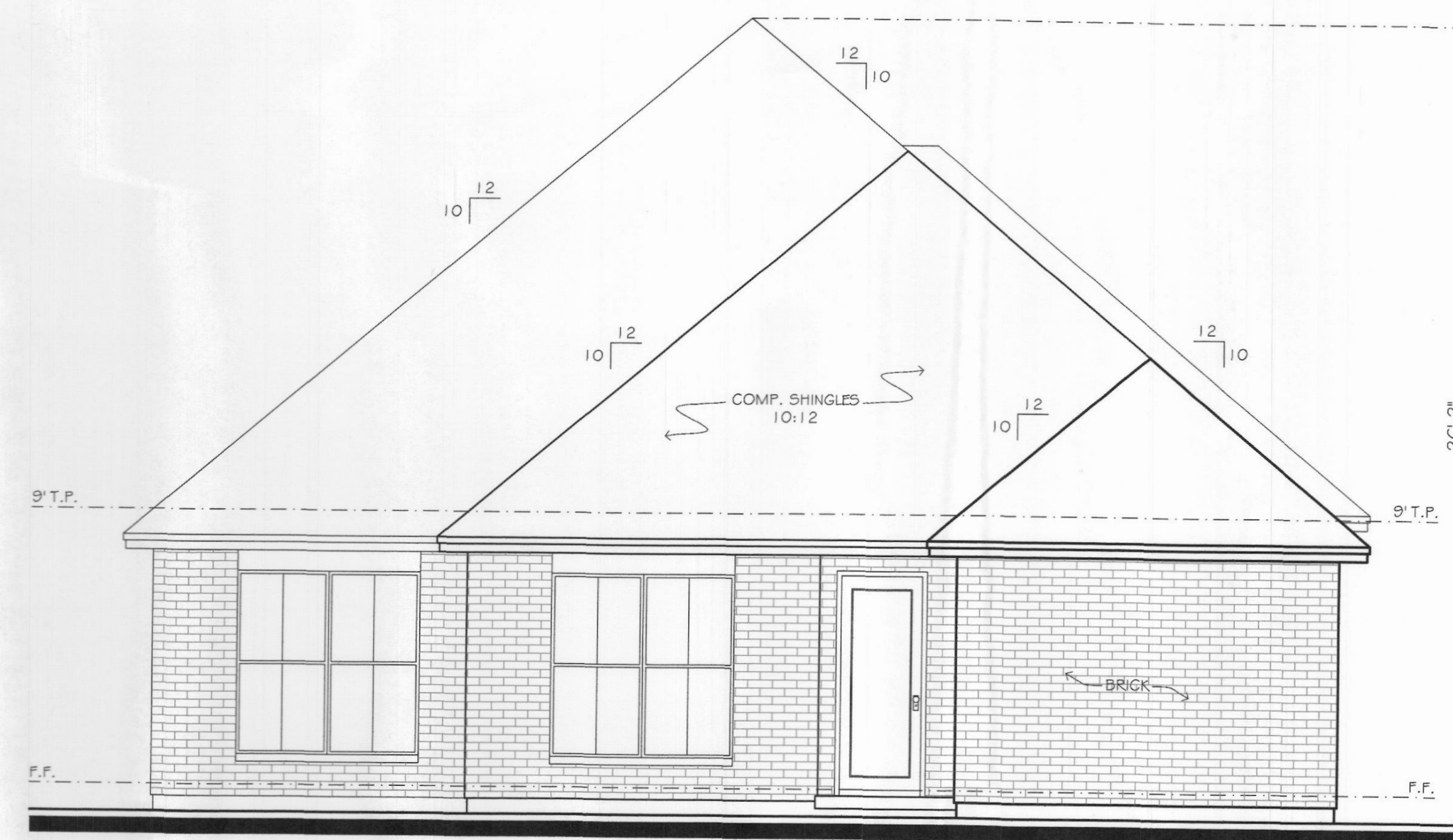
ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

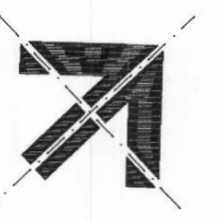
SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE OF THE WORK, INCLUDING PLUMBING, MECHANICAL, AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE STATE AND NATIONAL CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD REQUIREMENTS OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS. METHODS OF CONSTRUCTION AND ELECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

418 PERCH ROAD
Block E Lot 890
Rockwall, Texas 75032

Date
FEBRUARY, 2021

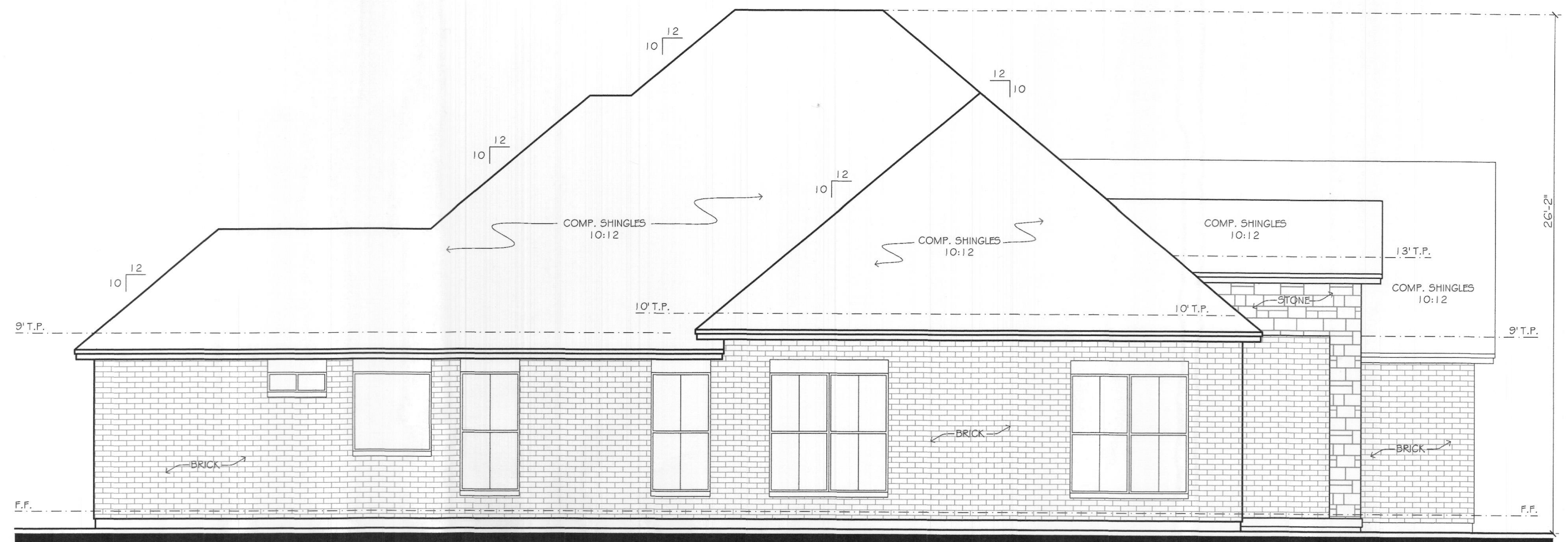
Sheet Title

INDICATES

Scale
INDICATES

Sheet No.

A2.00



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

North

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

418 PERCH ROAD
 Block E Lot 890
 Rockwall, Texas 75032

Date
 FEBRUARY, 2021

Sheet Title

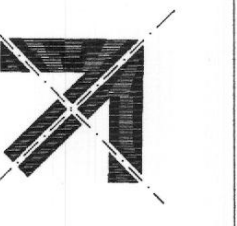
INDICATES

Scale
 INDICATES

Sheet No.

A2.01

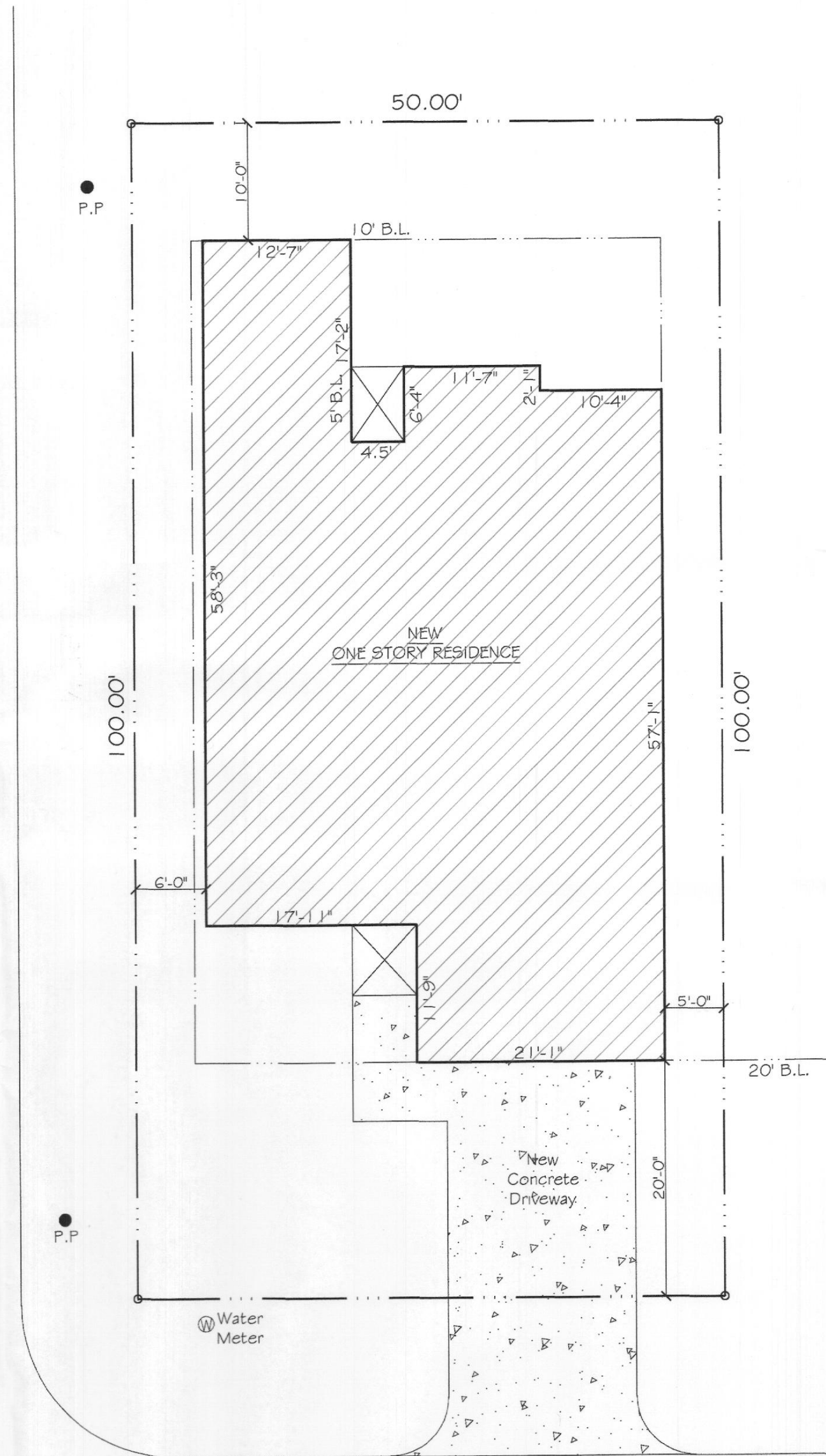
North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL CODES, ORDINANCES AND REGULATIONS. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCAL CODES, ORDINANCES AND REGULATIONS. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

418 PERCH ROAD
Block E Lot 890
Rockwall, Texas 75032

SUNFISH ROAD



PERCH ROAD

GENERAL NOTES

1. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS & INDUSTRY STANDARDS.
2. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
3. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
4. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
5. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
6. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
7. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.

SITE PLAN INFORMATION

LOT SIZE	5,000 S.F.
BUILDING AREA	2,245 S.F.
PERCENT LOT COVERED	44.9%

A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)

Date
FEBRUARY, 2021

Sheet Title

SITE PLAN

Scale
1" = 10'-0"

Sheet No.

A0.00

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
345 Perch Road	Single-Family Home	1985	1,800	N/A	
348 Perch Road	Single-Family Home	1975	1,241	N/A	Siding
355 Perch Road	Single-Family Home	2015	2,848	N/A	Brick
356 Perch Road	Single-Family Home	1993	1,908	N/A	Brick
365 Perch Road	Single-Family Home	1982	1,160	N/A	Brick
372 Perch Road	Single-Family Home	1996	2,052	100	Brick
377 Perch Road	Single-Family Home	1982	1,406	N/A	Brick
381 Perch Road	Single-Family Home	1978	1,174	N/A	Brick
382 Perch Road	Single-Family Home	2011	2,109	N/A	Brick
394 Perch Road	Single-Family Home	2002	1,520	N/A	Brick
397 Perch Road	Single-Family Home	1976	1,160	640	Brick
417 Perch Road	Single-Family Home	1975	1,653	N/A	Siding
418 Perch Road	Subject Property	1955	609	N/A	Wood Siding
425 Perch Road	Single-Family Home	1995	1,472	N/A	Brick
436 Perch Road	Single-Family Home	2000	1,821	N/A	Brick
439 Perch Road	Single-Family Home	2002	1,626	N/A	Brick
443 Perch Road	Single-Family Home	2002	1,806	N/A	Brick
446 Perch Road	Single-Family Home	1975	894	240	Siding
455 Perch Road	Single-Family Home	2002	1,406	N/A	Brick
458 Perch Road	Single-Family Home	2004	2,108	N/A	Brick
464 Perch Road	Single-Family Home	2005	1,780	N/A	Brick
467 Perch Road	Single-Family Home	2001	1,680	100	Brick
469 Perch Road	Single-Family Home	2001	1,856	N/A	Brick
472 Perch Road	Single-Family Home	1992	1,165	N/A	Siding
194 Sunfish Road	Single-Family Home	2002	1,640	N/A	Brick

Averages: 1992 1,596 270



348 Perch Road



355 Perch Road



356 Perch Road



365 Perch Road



372 Perch Road



377 Perch Road



381 Perch Road



382 Perch Road



394 Perch Road



397 Perch Road



417 Perch Road



418 Perch Road



425 Perch Road



436 Perch Road



439 Perch Road



443 Perch Road



446 Perch Road



455 Perch Road



458 Perch Road



464 Perch Road



467 Perch Road



469 Perch Road



472 Perch Road



194 Sunfish Road

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.115-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 890, BLOCK E, ROCKWALL LAKE ESTATES #1 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Maldonado for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.115-acre parcel of land being described as Lot 890, Block E, Rockwall Lake Estates #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 418 Perch Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF APRIL, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 15, 2021

2nd Reading: April 5, 2021

Exhibit 'A'
Location Map

Address: 418 Perch Road

Legal Description: Lot 890, Block E, Rockwall Lake Estates #1 Addition



**Exhibit 'B':
Residential Plot Plan**

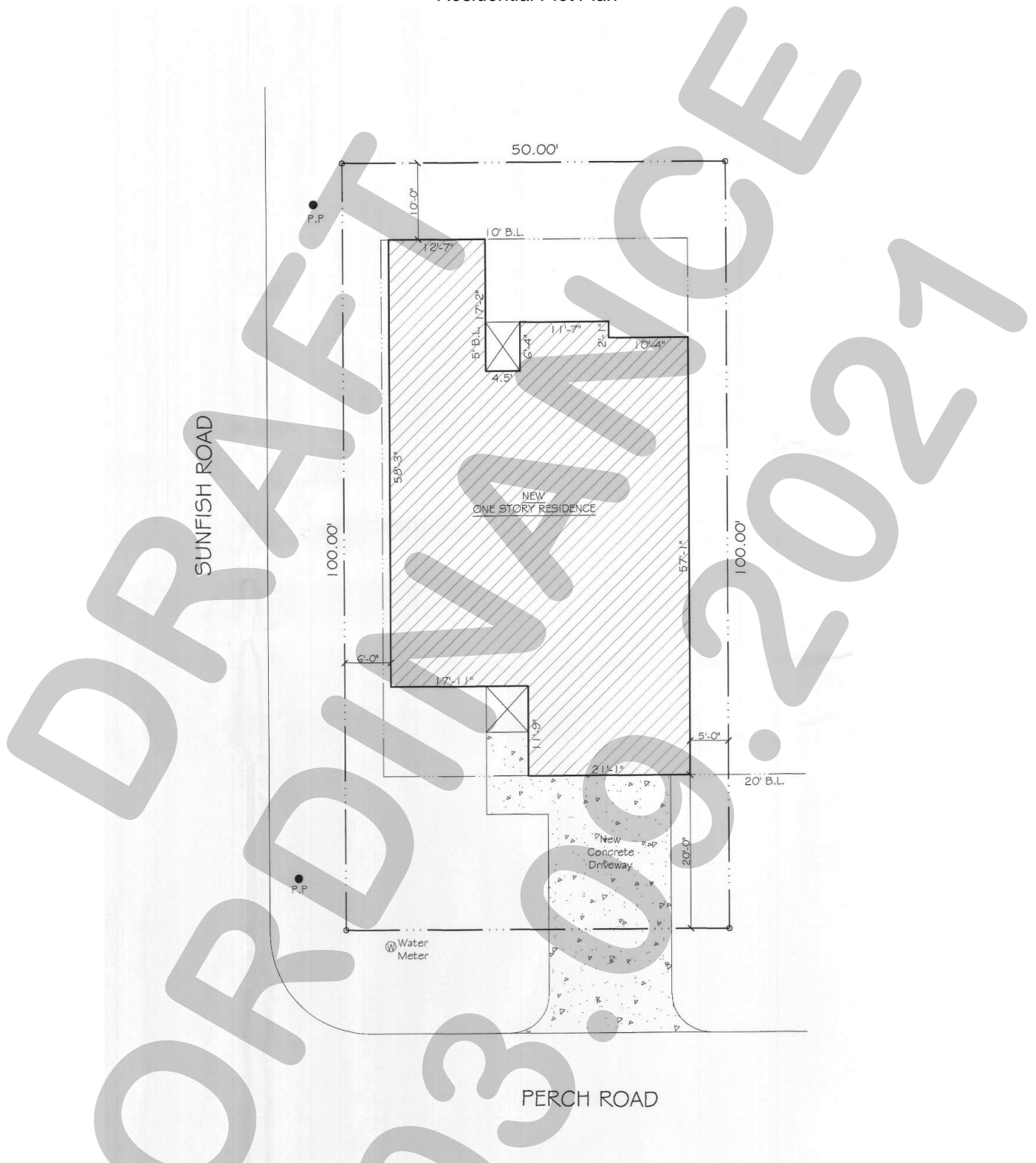
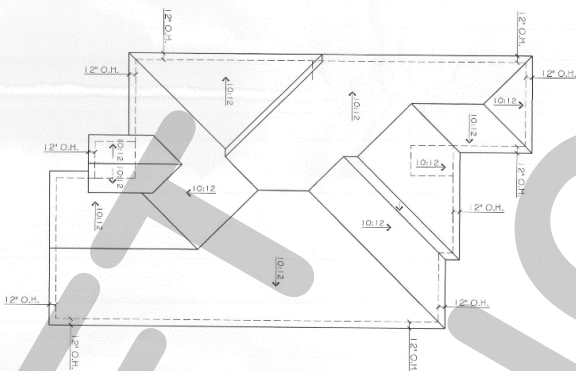


Exhibit 'C':
Building Elevations

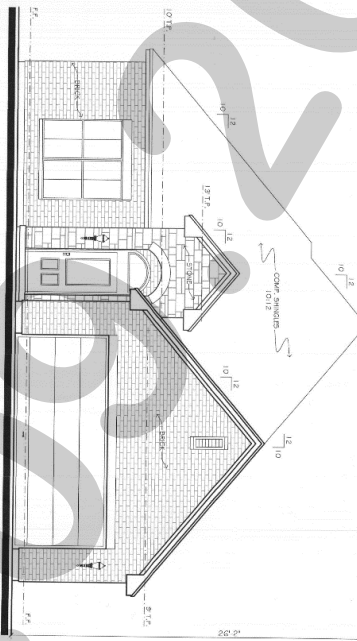
ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

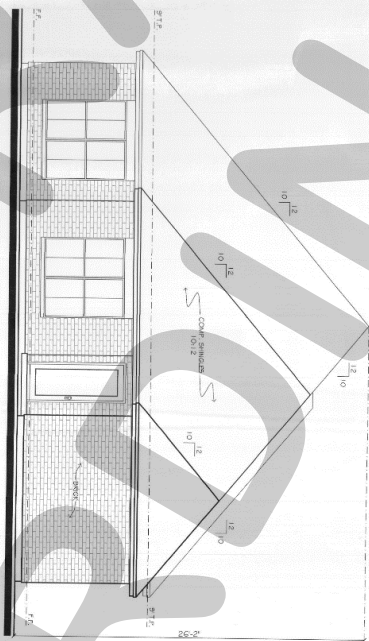
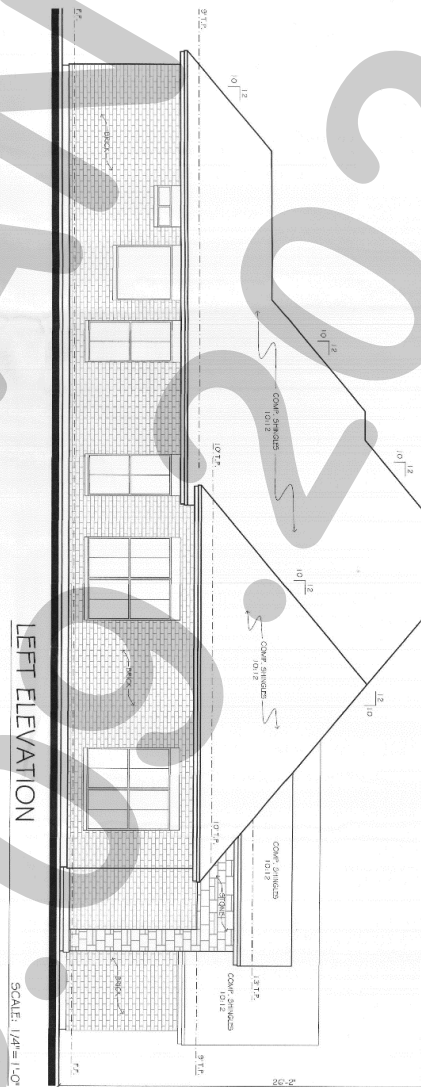
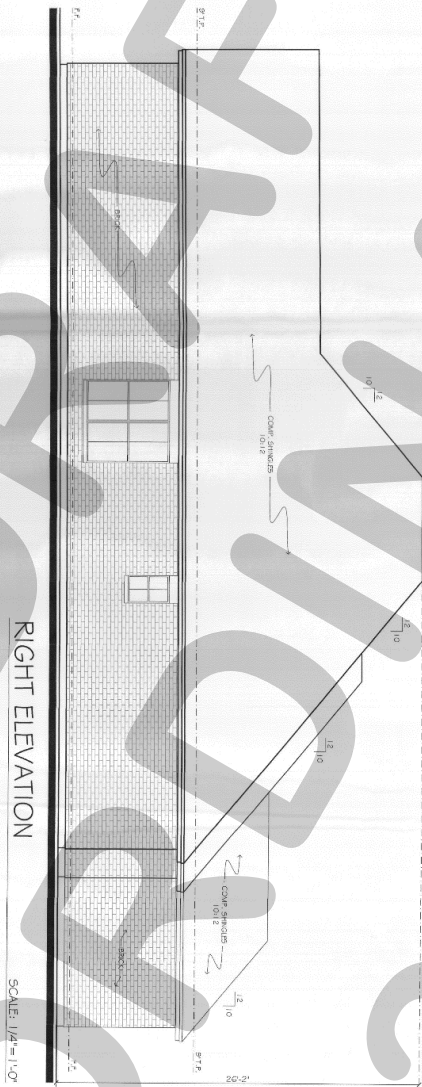


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Kevin Harrell; *Skorburg Company*
CASE NUMBER: Z2021-005; *Zoning Change (AG to PD) for Winding Creek*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses on a 38.012-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

BACKGROUND

The subject property consists of two (2) existing tracts of land. The 26.012-acre tract of land (*i.e. Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72*) -- identified as a 25.844-acre tract of land by the Rockwall Central Appraisal District (RCAD) and is heretofore referenced as *Tract 1* -- is currently undeveloped and is considered to be raw land. The 12.00-acre tract of land (*i.e. Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72*) -- which is currently located directly east of the *Tract 1* and is heretofore referenced as *Tract 2* -- is currently occupied with a single-family home. According to the Rockwall Central Appraisal District (RCAD), the single-family home is 4,456 SF and was constructed in 1992. Also situated on the subject property is a 2,100 SF accessory building and two (2), 600 SF canopies that were constructed in 1995. A 500 SF carport was added to the home in 2005. On January 18, 2011, the City Council annexed the subject property by adopting *Ordinance No. 11-03 [Case No. A2010-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. No additional changes or improvements have been made to the subject property since its annexation.

PURPOSE

On February 12, 2021, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 56-lot single-family, residential subdivision that will incorporate lots that are a minimum of 16,000 SF in size.

ADJACENT LAND USES AND ACCESS

The subject property is located at southeast corner of the intersection of FM-1141 and Clem Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Clem Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the City's corporate limits followed by multiple residential properties located within the City's Extraterritorial Jurisdiction (ETJ). Also, north of the subject property -- and located within the City's corporate limits -- is the Saddle Brook Estates Subdivision, which consists of 45 single-family residential lots on 51.47-acres of land. These homes were constructed in 2002, and are zoned Single-Family 16 (SF-16) District.

South: Directly south of the subject property is the City's corporate limits followed by the Meadowview Ranch Estates Subdivision, which is situated within the City's Extraterritorial Jurisdiction (ETJ). The Meadowview Ranch Estates

Subdivision consists of 24 single-family residential lots on 38.97-acres of land. These homes were constructed in 1977.

East: Directly east of the subject property is the City's corporate limits followed by a 20.74-acre tract of land (*i.e. Tract 22 of the W. M. Dalton Survey, Abstract No. 72*), which is currently under a 212 *Development Agreement* [Case No. A2010-002]. Beyond this are the City's corporate boundaries followed a 20.00-acre tract of land (*i.e. Tract 22-05 of the W. M. Dalton Survey, Abstract No. 72*), which has a single-family home situated on it. This property is zoned Agricultural (AG) District.

West: Directly west of the subject property are the City's corporate limits followed FM-1141. FM-1141 is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ).

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 38.012-acre tract of land will be subdivided to create 56 single-family residential lots. All of the proposed lots will be a minimum of 16,000 SF, and have a minimum lot width of 90-feet and a minimum lot depth of 100-feet. The overall density of the proposed subdivision will be 1.48 dwelling units per acre. The minimum dwelling unit size (*i.e. air-conditioned space*) will be 3,000 SF; however, the Planned Development District ordinance does allow this to be reduced to 2,800 SF for ten (10) percent of the lots (*i.e. five [5] lots*). According to the applicant, the proposed housing product will be of the same quality as the Breezy Hill and Stone Creek Subdivisions, but will incorporate updated floor plans. Staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry (*with a minimum of 85% on each façade*), and be subject to the City's upgraded anti-monotony standards. The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 16 (SF-16) District. These density and dimensional requirements are summarized as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

<i>Minimum Lot Width</i> ⁽¹⁾	90'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	16,000 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	25'
<i>Minimum Side Yard Setback</i>	8'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i> ⁽⁶⁾	3,000 SF
<i>Maximum Lot Coverage</i>	60%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: A maximum of ten (10) percent of the lots may have a minimum area/dwelling unit of 2,800 SF [*Air-Conditioned Space*].

The proposed concept plan shows approximately 9.29-acres of open space (or 24.4%) will be provided, and that a six (6) foot trail system will traverse the site. In addition, a six (6) foot meandering trail will be provided along FM-1141, and a five (5) foot sidewalk will be constructed along Clem Road. Along the lots on the southside of the subject property, the applicant has indicated that a ten (10) foot wide landscape buffer with evergreen trees planted on 20-foot centers will be provided.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. The applicant shall verify the right-of-way width of FM-1141 to ensure there is 85-feet of right-of-way, and dedicate any of the subject property that is within 42.50-feet of the centerline of the roadway. The applicant will also need to verify the current right-of-way width of Clem Road, and dedicate any area within 30-feet of the centerline of the roadway.
- (2) Water. The applicant shall be required to provide a letter from Mt. Zion Water Supply -- *the holder of the Certificate of Convenience and Necessity (CCN) for the subject property* -- stating that they can serve domestic and fire protection meeting the City's minimum standards. As an alternative, the applicant can pursue opting out of the Mt. Zion's CCN. Any water system utilized to provide water to the site will be required to be looped through the property.
- (3) Wastewater. The applicant will need to connect the subdivision to the City's existing sewer system. Plans for this will be required at the time of civil engineering.
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing pond.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to all of the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual*.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential land uses on the Future Land Use Plan. According to the Comprehensive Plan, Low Density Residential land uses are defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case, the applicant is proposing an overall density of 1.48 dwelling units per acre, which is in conformance with the Future Land Use Plan. In addition, the zoning change does not change the current land use ratio of residential to commercial, which is at 76.24% residential to 23.76% commercial. According to the OURHometown Vision 2040 Comprehensive Plan, the desired land use ratio for the City of Rockwall is 80% residential to 20% commercial land uses [*Goal 01, Policy 1; Section 02.01 of Chapter 1*].

According to the Northeast Residential District, the district "... is characterized by its established low-density residential subdivisions and rural/estate style lots ... [and] is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development." In addition, the *District Strategies for Suburban Residential* (i.e. the correct designation for the proposed development according to the Comprehensive Plan) under the Northeast Residential District state, "(a)ny new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district." In this case, the applicant proposed lot size is similar to or larger than the lots in several subdivisions within this district (e.g. *Saddle Star, Dalton Ranch, Gideon Grove, Nelson Lake, Maytona Ranch Estates and Stoney Hollow Subdivisions*). Based on this the applicant's proposed concept plan, lot size, and proposed density are in conformance with the *District Strategies* of the Northeast Residential District.

Looking at the guidelines for residential developments contained in the Comprehensive Plan, the applicant's request does appear to be in conformance with nearly all of the residential goals and policies. Staff did identify the following one (1) area of non-conformance:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) *CH. 08 | Sec. 02.03 | Goal 1: Policy 2:* To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

However, taking into account the concept plan and zoning requirements being proposed, the applicant's request is in substantial conformance with the Future Land Use Plan, District Strategies, and Residential Guidelines contained in the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On February 19, 2021, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had received one (1) email from a property owner outside of the notification area, but within the City limits, opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance; and,
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	237 Clem Rd at FM 1141 Rockwall, TX		
Subdivision	DALTON SURVEY	Lot	Block
General Location	SEC of FM 1141 and Clem Rd		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Agricultural District (AG)	Current Use	AG
Proposed Zoning	Planned Development District SF - 16	Proposed Use	PD (SF-16)
Acreage	Approx 39	Lots [Current]	0
		Lots [Proposed]	Approx 59

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Mark Taylor	<input type="checkbox"/> Applicant	Skorburg Company
Contact Person	Mark Taylor	Contact Person	Kevin Harrell
Address	237 Clem RD	Address	8214 Westchester Suite 900
City, State & Zip	Rockwall, TX 75087	City, State & Zip	Dallas, TX 75225
Phone	972-772-4171	Phone	214-888-8859
E-Mail	mtaylor1045@gmail.com	E-Mail	KHarrell@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Mark Taylor [Owner] the undersigned, who stated the information on this application to be true and certified the following:

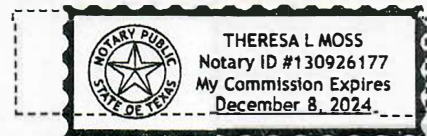
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 12 day of February, 2021.

Owner's Signature

Notary Public in and for the State of Texas

Mark Taylor
Theresa L Moss



My Commission Expires



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
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Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
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- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	Clem Rd at FM 1141 Rockwall, TX		
Subdivision	DALTON SURVEY	Lot	Block
General Location	SEC of FM 1141 and Clem Rd		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Agricultural District (AG)	Current Use	AG
Proposed Zoning	Planned Development District SF - 16	Proposed Use	PD (SF-16)
Acreage	37.41	Lots [Current]	0
		Lots [Proposed]	Approx 58

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Alex Freeman	<input type="checkbox"/> Applicant	Skorburg Company
Contact Person	Alex Freeman	Contact Person	Kevin Harrell
Address	100 N Central Expy STE 1008	Address	8214 Westchester Suite 900
City, State & Zip	Richardson, TX 75080	City, State & Zip	Dallas, TX 75225
Phone	469-233-4774	Phone	214-888-8859
E-Mail	afreeman@pinnaclemontessori.com	E-Mail	KHarrell@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

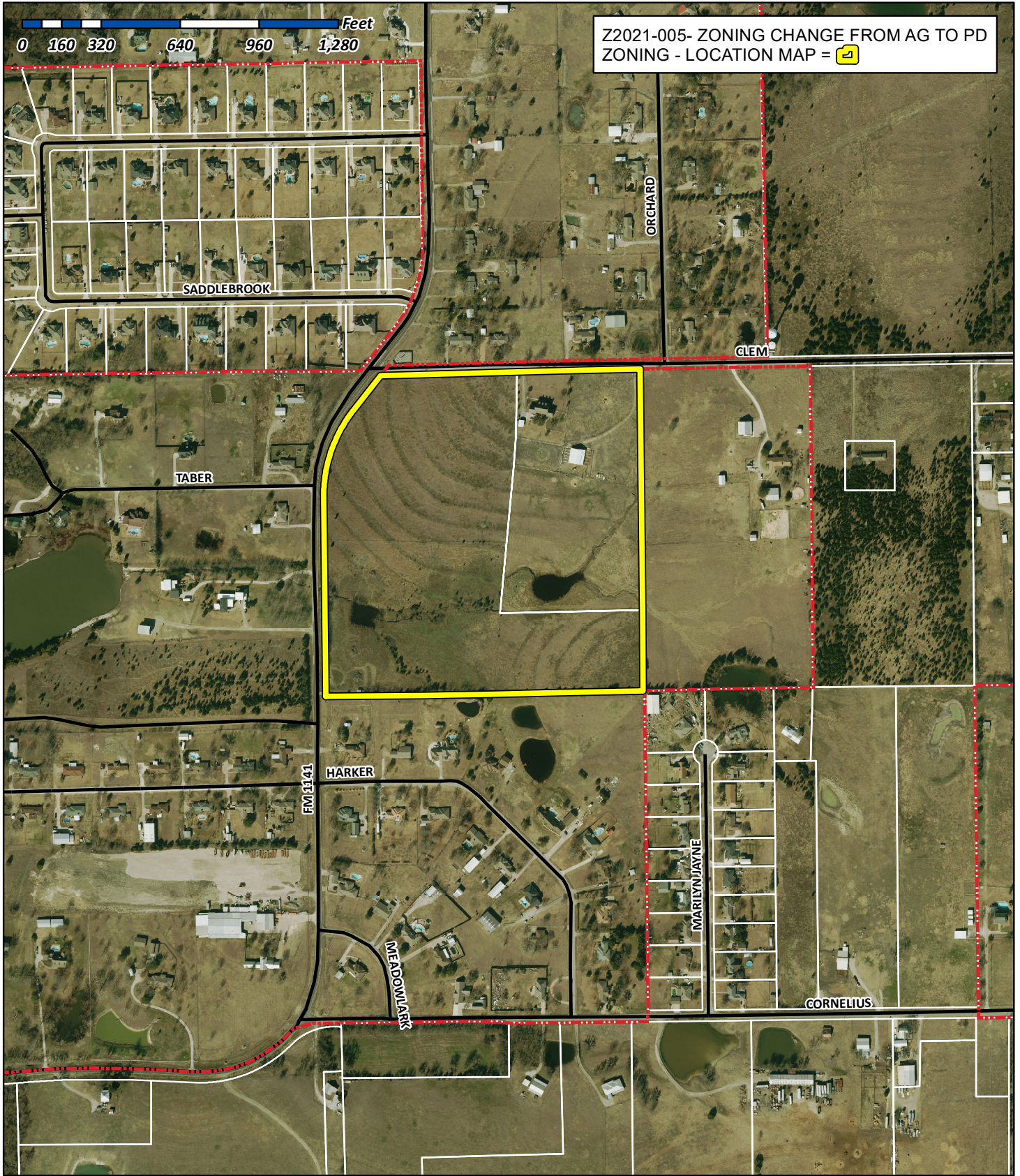
Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature _____

Notary Public in and for the State of Texas _____



My Commission Expires _____



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

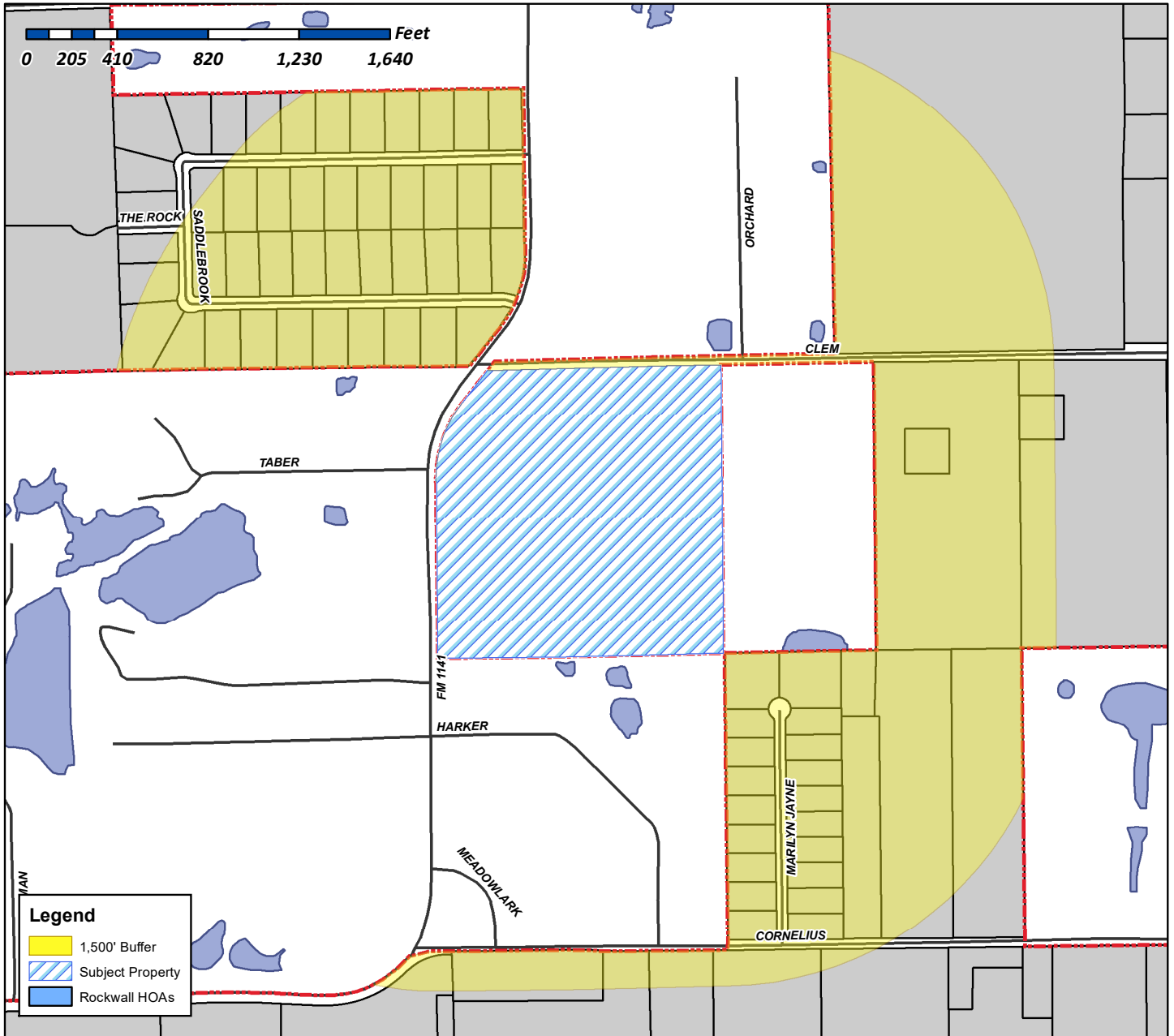




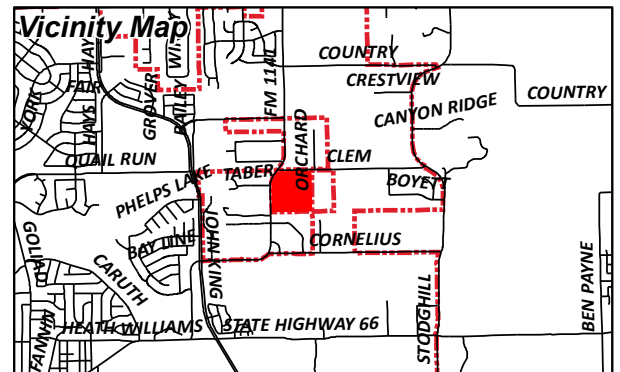
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-005
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: AG
Case Address: SEC of Clem Road and FM-1141



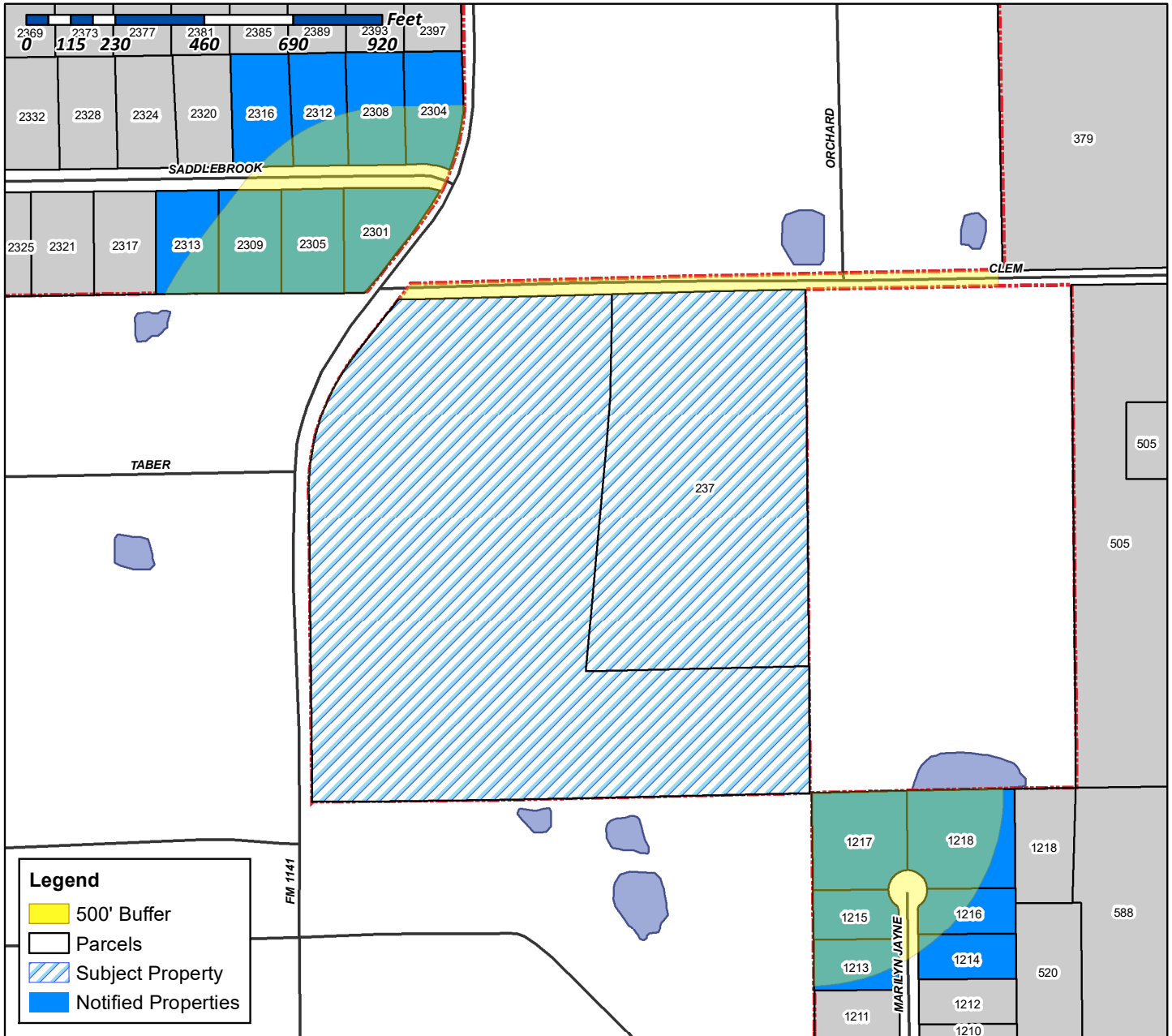
Date Created: 2/18/2021
 For Questions on this Case Call (972) 771-7745



City of Rockwall

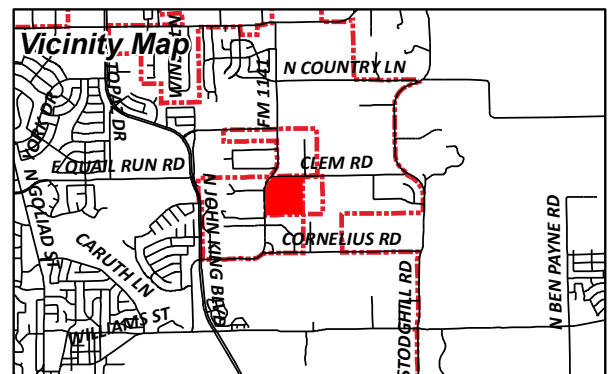
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Type: Zoning
Zoning: AG
Case Address: SEC of Clem Road and FM-1141

Date Created: 2/18/2021
 For Questions on this Case Call (972) 771-7745



VASUNDHARA REDDY K AND
ALEX R FREEMAN
100 N CENTRAL EXPWY SUITE 1008
RICHARDSON, TX 75080

BERGERHOUSE PHILLIP & KERRI
1213 MARILYN JAYNE DR
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

CONFIDENTIAL
1215 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M
1216 MARILYN JAYNE DR
ROCKWALL, TX 75087

KELLY JAMES B & DEA S
1217 MARILYN JAYNE DR
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS
1218 MARILYN JAYNE DR
ROCKWALL, TX 75087

CULP TERRI L
2301 SADDLEBROOK LN
ROCKWALL, TX 75087

MURPHEY HARVEY W & BETTY J
2304 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE AARON & BARBARA
2305 SADDLEBROOK LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2308 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES JAMES E
2309 SADDLEBROOK LN
ROCKWALL, TX 75087

SMITH WILLIAM CLEVE JR &
EDITH LILLIAN
2312 SADDLEBROOK LN
ROCKWALL, TX 75087

ROMERO MARGARET ALLEN-
2313 SADDLEBROOK LANE
ROCKWALL, TX 75087

LLOYD DANIEL AND REBECCA R
2316 SADDLEBROOK LANE
ROCKWALL, TX 75087

M G & J K TAYLOR LIVING TRUST
MARK G TAYLOR AND JESSICA K TAYLOR-
TRUSTEES
237 CLEM ROAD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-005: Zoning Change AG to PD (Winding Creek)

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses on a 37.844-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-005: Zoning Change AG to PD (Winding Creek)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: Judy Morris <morrisj48@yahoo.com>
Sent: Tuesday, February 23, 2021 6:03 PM
To: Miller, Ryan
Subject: 56 houses to be built at 1141 and Clem Road

Hello Mr. Miller,

My name is Judith Morris and I live at 3047 Cobblestone Dr., Rockwall, TX 75087. I understand a Public Hearing at the Planning and Zoning Department at City Hall is happening tonight. I am not able to attend this meeting but I want to stress that I am opposed to the building of these homes in this particular area unless the proper infrastructure is in place before building.

My reasons are as follows:

- FM1141 is a single lane road. Additional traffic will make this road more congested during peak hours. Also, road maintenance and widening of FM1141 would be necessary. This road has several curves that should be straightened out.
- Rockwall ISD is planning on building a new school at FM1141 which will provide additional traffic.
- Police, Fire, EMT, Schools, and other services are stressed to the max as it is.
- Water shortage is also a concern in this area.

Rockwall's infrastructure needs to be upgraded before any new building happens.

Thank you,

Judith Morris
morrisj48@yahoo.com
214.558.2993

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Skorburg Company
8214 Westchester Dr., Ste. 900
Dallas, TX 75225
Phone: 214/522-4945
Fax: 214/522-7244



February 12, 2021

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

Skorburg Company is requesting that our project be taken to the March 9th, 2021 Planning and Zoning Meeting. This project is the development of ±38 Acres in the William Dalton Survey, City of Rockwall, Rockwall County, located at the Southeast corner of F.M. 1141 and Clem Rd.

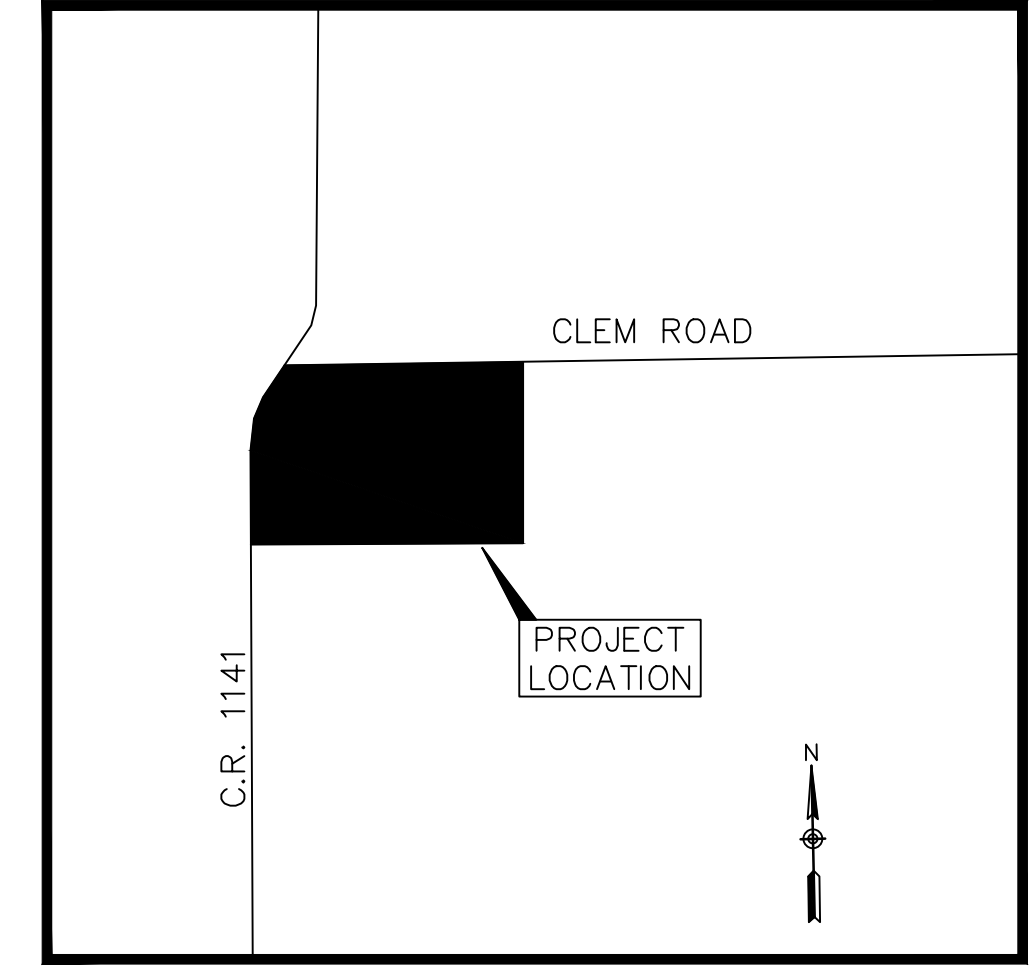
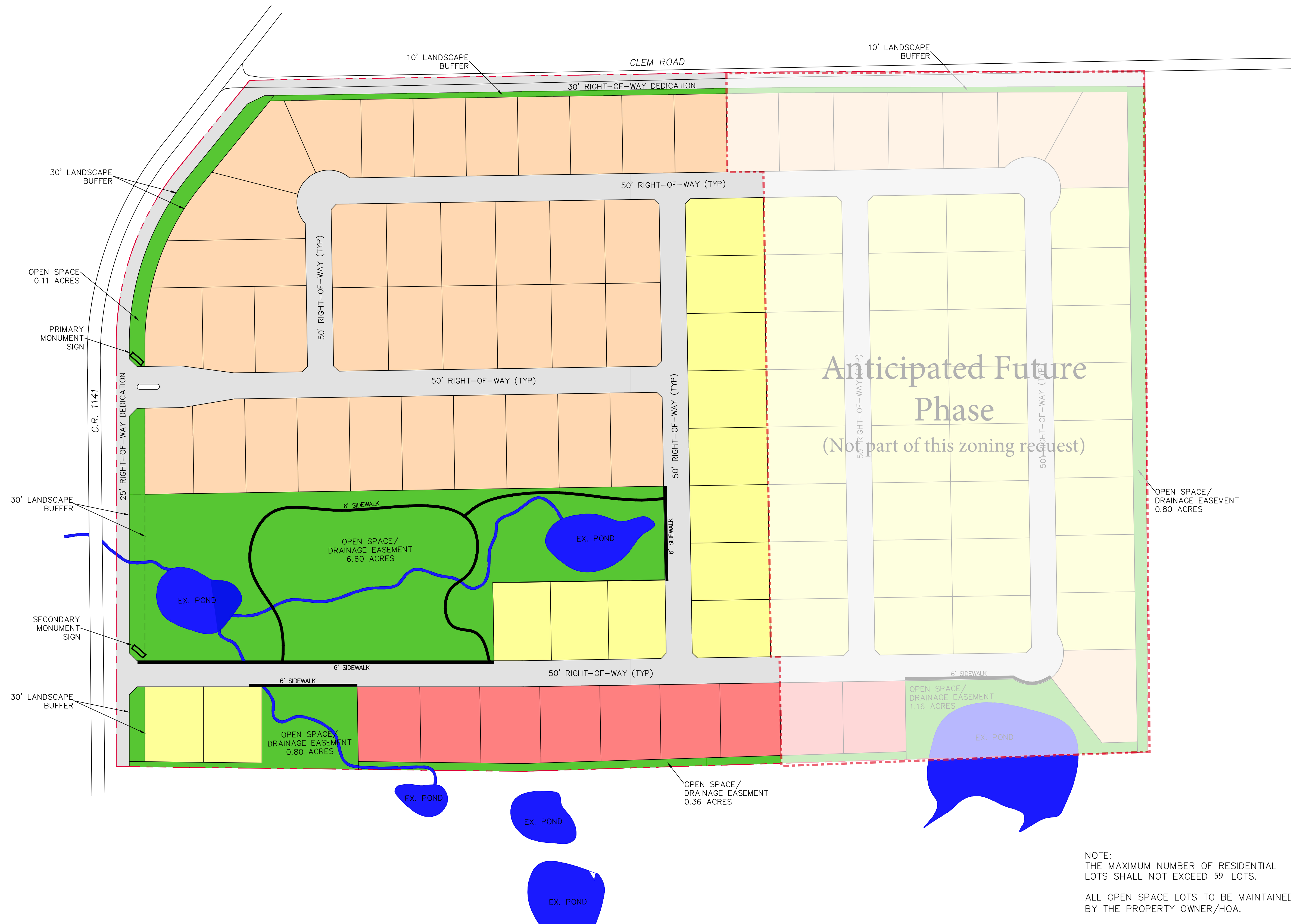
The property is currently zoned AG. We are proposing a development of Single-Family Residential homes on 16,000 square foot lots. This community will feature high quality homes on large lots and add to the beautiful aesthetics of other high quality Skorburg communities like Stone Creek Estates, Breezy Hill Estates, and Gideon Grove.

We look forward to working with the City once again to develop another gorgeous development.

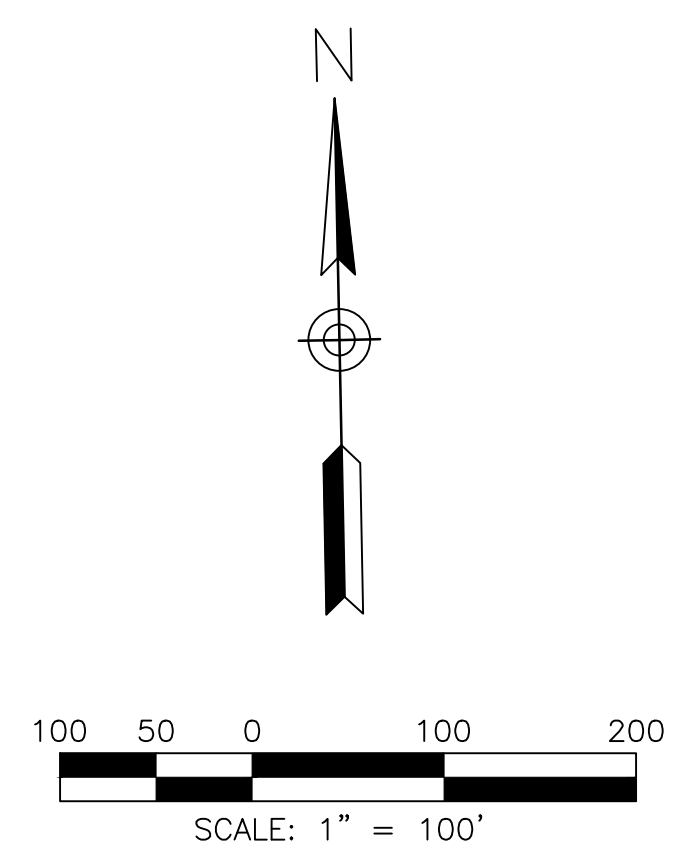
Cordially Yours,

A handwritten signature in blue ink, appearing to read "K Harrell", written over a light blue horizontal line.

Kevin Harrell
Land Acquisition Manager



LOCATION MAP
N.T.S.



LEGEND	
TYPICAL LOT SIZES	
	100' X 160' (36 LOTS)
	110' X 150' (13 LOTS)
	115' X 140' (7 LOTS)
	PUBLIC OPEN SPACE

NOTE:
THE MAXIMUM NUMBER OF RESIDENTIAL
LOTS SHALL NOT EXCEED 59 LOTS.

ALL OPEN SPACE LOTS TO BE MAINTAINED
BY THE PROPERTY OWNER/HOA.

TOTAL ACRES: 38.012
 TOTAL OPEN SPACE: 7.5
 TOTAL RESIDENTIAL LOTS: 56
 RESIDENTIAL DENSITY: 1.48

CONCEPT PLAN
OF
WINDING CREEK
 SITUATED IN THE
WILLIAM DALTON SURVEY,
ABSTRACT NO. 72
 IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
 PREPARED BY
MACATEE ENGINEERING, LLC
12655 N. CENTRAL EXPRESSWAY, SUITE 420
DALLAS, TEXAS 75243
214-373-1180
 OWNER
REDDY K VASUNDHARA & ALEX R FREEMAN
 OWNER
M G & J K TAYLOR LIVING TRUST
237 CLEM ROAD, ROCKWALL, TX 75087

FEBRUARY 2021
SCALE: 1"=100'

CASE NO. _____

11 NORTHEAST RESIDENTIAL DISTRICT

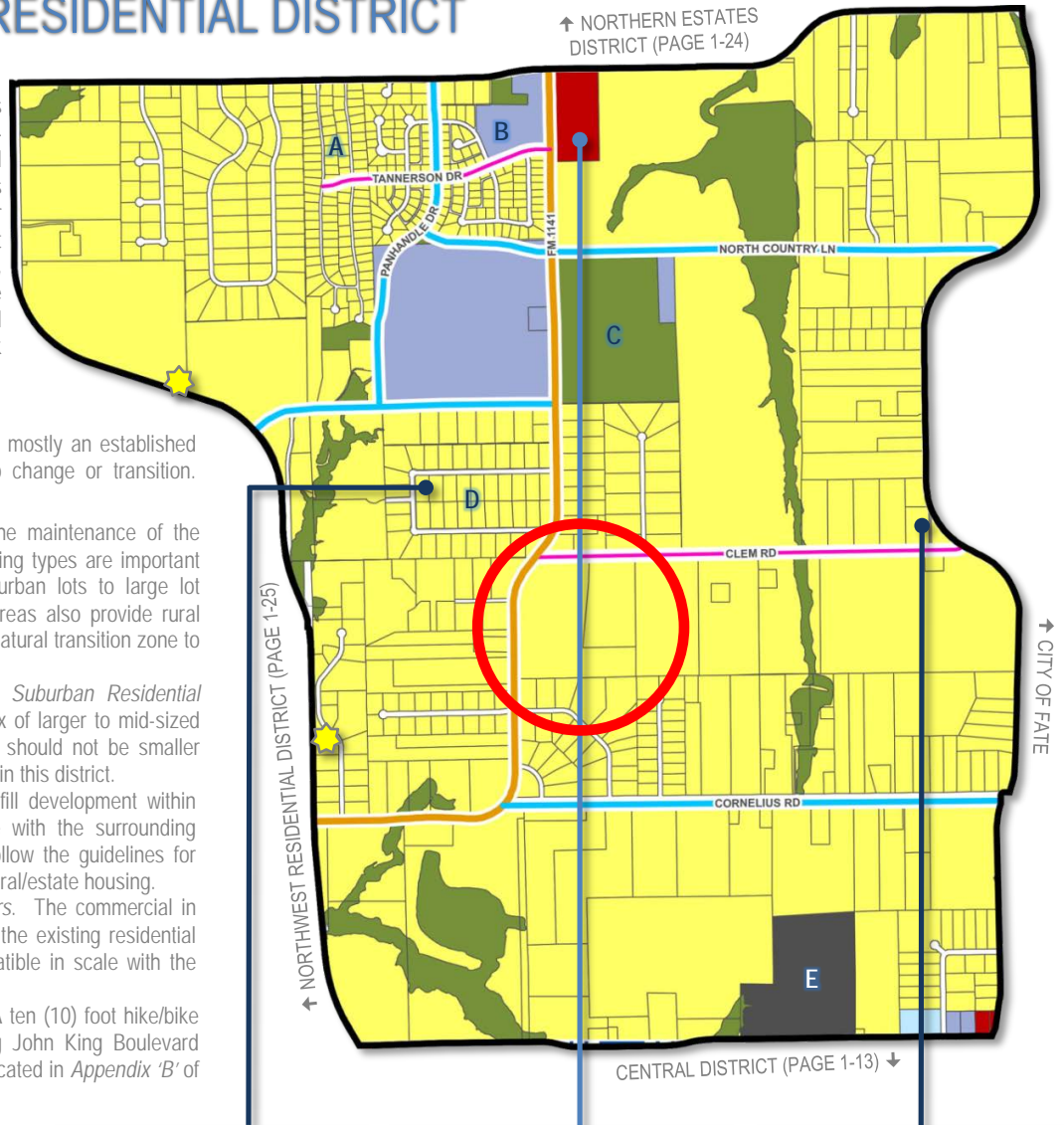
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 *Estate and Rural Residential.* The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 *Suburban Residential.* Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 *Infill Development.* Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 *Neighborhood/Convenience Centers.* The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 *John King Boulevard Trail Plan.* A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



2 Current Suburban Residential



4 Future Neighborhood/Convenience Center

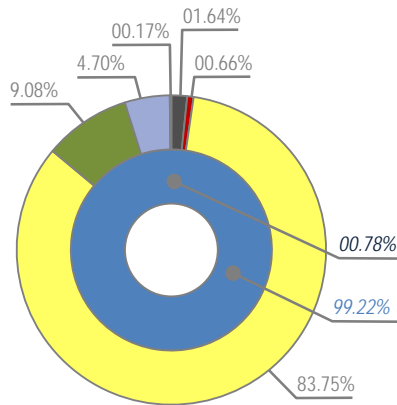


1 Current Rural Residential

BUILD OUT
1,964

% OF ROCKWALL
3.13%
0.99%
3.10%

CURRENT
625
18
1,844



MINOR COLLECTOR	0.78%
M4U	99.22%
M4D	0.00%
CEMETERY (CEM)	32.34-ACRES
COMMERCIAL/RETAIL (CR)	13.02-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,646.83-ACRES
PARKS AND OPEN SPACE (OS)	178.54-ACRES
PUBLIC (P)	92.45-ACRES
QUASI-PUBLIC (QP)	3.25-ACRES
COMMERCIAL	0.78%
RESIDENTIAL	99.22%
MIXED USE	0.00%

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 16 (SF-16) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 38.012-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17 & 17-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Harrell of the Skorborg Co. on behalf of Mark Taylor and Alex Freeman for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses, on a 38.012-acre tract of land identified as Tract 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF APRIL, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 15, 2021

2nd Reading: April 5, 2021

Exhibit 'A':
Legal Description

Tract 1 (±26.012-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas. Being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a 60D nail found for corner at the intersection near the center of Clem Road and the recognized southeast line of FM-1141, said point being the northwest corner of herein described tract;

THENCE North 89 Degrees 06 Minutes 09 Seconds East, within said Clem Road and the recognized north line of said *Walker Tract*, a distance of 533.77-feet to a point for corner, said point being the northeast corner of herein described tract and the northwest corner of a tract of land described in deed to Mark G. and Jessica K. Taylor, recorded in *Volume 7106, Page 191*, Official Public Records, Rockwall County, Texas;

THENCE South 01 Degrees 23 Minutes 21 Seconds West, along the west line of said *Taylor Tract*, passing a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for witness at a distance of 17.18-feet and continuing for a total distance of 283.63-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 06 Minutes 43 Seconds West, along the west line of said *Taylor Tract*, a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 35 Minutes 13 Seconds West, along the west line of said *Taylor Tract*, a distance of 597.75-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner, said point being an inner ell corner of herein described tract and the southwest corner of said *Taylor Tract*;

THENCE North 89 Degrees 06 Minutes 09 Seconds East, along the south line of said *Taylor Tract*, a distance of 574.09-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner in the west line of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, said point being the southeast corner of said *Taylor Tract* and the most southerly northeast corner of herein described tract;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the recognized east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 334.12-feet to a 3/8-inch iron rod found for corner, the apparent northeast corner of Lot 5 of Meadowview Ranch Estates, recorded in *Cabinet A, Slide 247*, Plat Records, Rockwall county, Texas, said point being the recognized southeast corner of said *Walker Tract* and the apparent southwest corner of said *Stevenson Tract*;

THENCE South 89 Degrees 13 Minutes 16 Seconds West, along the recognized south line of said *Walker Tract*, a distance 510.41-feet to a 3/8-inch iron rod found for angle point;

THENCE North 89 Degrees 58 Minutes 55 Seconds West, along the recognized south line of said *Walker Tract*, a distance of 778.67-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner in the recognized east line of said FM-1141, said point being the southwest corner of herein described tract;

THENCE North, along the recognized east line of said highway, passing a 60D nail found on a wood highway monument for witness at a distance of 734.11-feet and continuing for a total distance of 810.94-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the beginning of a curve to right having a central angle of 39 Degrees 09 Minutes 01 Seconds, a radius of 533.14-feet and a chord bearing and distance of North 19 Degrees 34 Minutes 34 Seconds East - 357.25-feet;

THENCE along the recognized southeast line of said highway and said curve to the right an arc length of 364.29-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the end of said curve;

Exhibit 'A':
Legal Description

THENCE North 39 Degrees 09 Minutes 00 Seconds East along the recognized southeast line of said highway, a distance of 215.67-feet to the place of beginning and containing 1,133,124.22 square-feet or 26.012-acres of land.

Tract 2 (±12.0-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a point for corner near the center of Clem Road, said point being the northeast corner of said *Walker Tract* and the northwest corner of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, from which a ½-inch iron rod found for witness bears South 00 Degrees 06 Minutes 20 Seconds East - 17.25-feet;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 990.13-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE South 89 Degrees 06 Minutes 09 Seconds West a distance 574.09-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE North 05 Degrees 35 Minutes 13 Seconds East a distance of 597.75-feet to a 4-inch metal fence corner for angle point;

THENCE North 05 Degrees 06 Minutes 43 Seconds East a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE North 01 Degrees 23 Minutes 21 Seconds East a distance of 283.63-feet to a point for corner in the north line of said *Walker Tract*, said point being near the center of Clem Road from which a ½-inch iron set with yellow cap stamped *BG&A RPLS 5569* for witness bears South 01 Degrees 23 Minutes 21 Seconds West - 17.18-feet;

THENCE North 89 Degrees 06 Minutes 09 Seconds East along the north line of said *Walker Tract* and within said Clem Road a distance of 497.09-feet to the *PLACE OF BEGINNING* and containing 522,720.00 square-feet or 12.000-acres of land.

Exhibit 'B':
Location Map

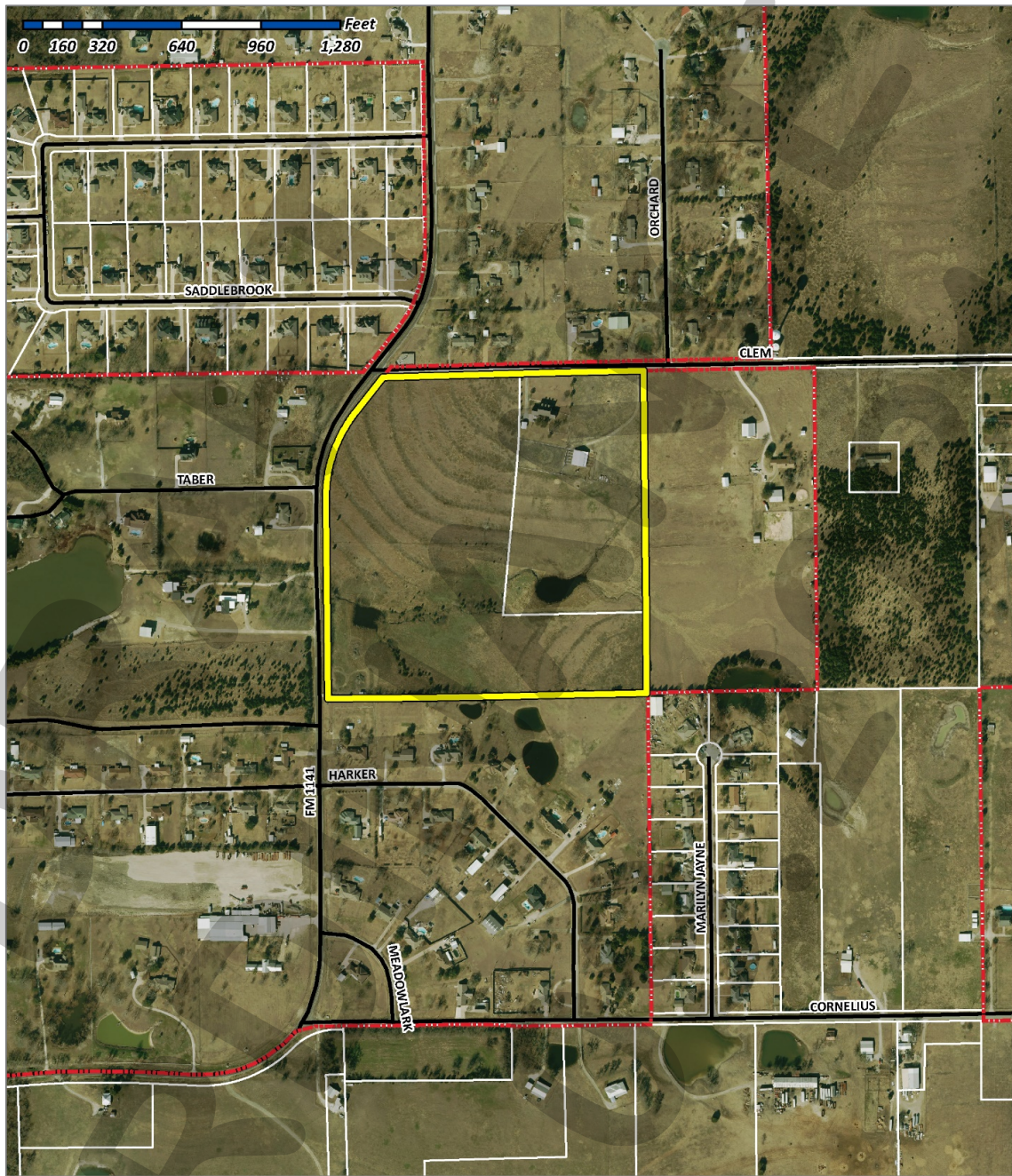


Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 16 (SF-16) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 16 (SF-16) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.48 dwelling units per gross acre of land; however, in no case should the proposed development exceed 56 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

<i>Minimum Lot Width</i> ⁽¹⁾	90'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	16,000 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	25'
<i>Minimum Side Yard Setback</i>	8'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i> ⁽⁶⁾	3,000 SF
<i>Maximum Lot Coverage</i>	60%

General Notes:

- ^{1:} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ^{2:} The location of the *Front Yard Building Setback* as measured from the front property line.
- ^{3:} The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ^{4:} The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ^{5:} Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ^{6:} A maximum of ten (10) percent of the lots may have a minimum area/dwelling unit of 2,800 SF [*Air-Conditioned Space*].

- (4) Building Standards. All development shall adhere to the following building standards:
 - (a) Masonry Requirement. The minimum masonry requirement for the total exterior façade area of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the

Exhibit 'D':

Density and Development Standards

purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Excluding dormers and walls over roof areas, siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible on homes abutting any major thoroughfare (i.e. *FM-1141 as shown on Exhibit 'C' of this ordinance*).

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. Garages shall be oriented in a *traditional swing* (or *j-swing*) (i.e. *where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration*). On *traditional swing* (or *j-swing*) garage configurations, a second single or double garage door facing the street is permitted if it is located behind the width of the double garage door. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

All garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Garage Door



- (5) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:
 - (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of

Exhibit 'D':
Density and Development Standards

differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-1141, or Clem Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade

(c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

(d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.

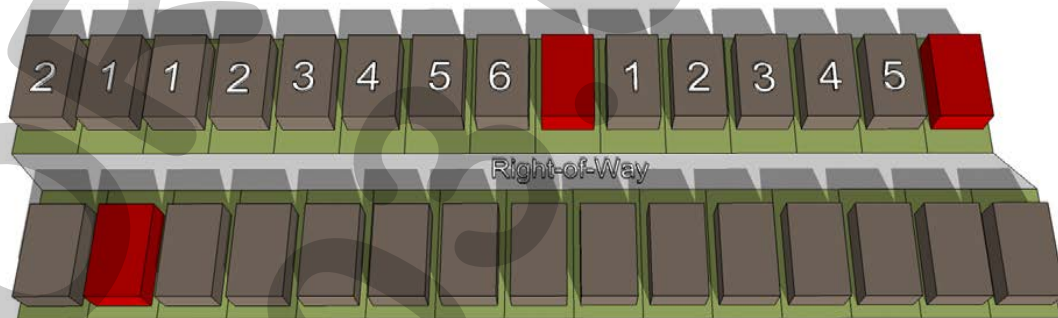


Exhibit 'D':
Density and Development Standards

- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-1141 and Clem Road*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any*

Exhibit 'D':

Density and Development Standards

required right-of-way dedication), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot sidewalk shall be constructed within the 30-foot landscape buffer.

(2) Landscape Buffers (Clem Road). A minimum of a 30-foot landscape buffer shall be provided along Clem Drive (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.

(3) Landscape Buffers (Southern Property Line). A minimum of a 10-foot landscape buffer shall be incorporated at the rear of the residential lots that back to the southern property line of the subject property. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on 20-foot centers.

(c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

(d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

(e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.

(8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

(9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.

(10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.

(11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the

Exhibit 'D':

Density and Development Standards

perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 7.5688-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A concrete trail system shall be constructed in generally the same areas and of the same sizes as what is depicted in *Exhibit 'C'* of this ordinance.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Jonathan Stites; *Seefried Industrial Properties*
CASE NUMBER: SP2021-002; *Site Plan for a Warehouse/Distribution Center on Justin Road*

SUMMARY

Discuss and consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Bill Lofland of Smartt Lofland & J Bond Partners for the approval of a Site Plan for a *Warehouse/Distribution Center* on a 71.022-acre tract of land identified as Tract 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed on November 30, 1959 by *Ordinance No. 60-01*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Light Industrial (LI) District between December 5, 1983 and December 7, 1993.

PURPOSE

On January 13, 2021, the applicant -- *Jonathan Stites of Seefried Industrial Properties* -- submitted an application requesting approval of a site plan for the purpose of developing a 220,800 SF warehouse/distribution center on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest corner of the intersection of Justin Road and Industrial Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is Justin Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing north are several manufacturing facilities (*i.e. SPR Packaging, Whitmore Manufacturing [including a vacant 3.448-acre parcel], Charter Communications, and the County Maintenance and Juvenile Services Building*) that are zoned for Light Industrial (LI) District land uses. Beyond this is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Adjacent to Whitmore Manufacturing and the County Maintenance and Juvenile Services Building is Planned Development District 59 (PD-59), which is a mixed-use development that allows land uses related to the Neighborhood Services (NS) District, Single-Family 7 (SF-7) District, and Residential Office (RO) District.

South: Directly south of the subject property is Herman Utley Middle School, which is zoned Agricultural (AG) District. Beyond this is T. L. Townsend Boulevard, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Additionally, south of the subject property are several industrial facilities and a medical facility (*i.e. Baylor Scott & White Emergency Hospital*). These facilities are situated within the Ellis Centre Addition. All of these properties are zoned for Light Industrial (LI) District land uses. South of this is the westbound frontage road for E. IH-30.

East: Directly east of the subject property are two (2) large tracts of land (i.e. Lots 1 & 2 of the Industrial Addition) which are bisected by Industrial Boulevard. Industrial Boulevard is identified as a M4U (i.e. major collector, four [4] lane, roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. The majority of these properties were developed during the 1970's and 1980's. All of these properties are zoned Light Industrial (LI) District.

West: Directly west of the subject property is a 12.484-acre vacant tract of land that is bisected by Justin Road and fronts T. L. Townsend Drive. Both of these roadways are identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the Lofland Industrial Park and Justin Drive Professional Park developments, which contain several businesses zoned for Commercial (C) District land uses. Adjacent to these uses are Planned Development District 68 (PD-68) and Planned Development District 86 (PD-86), which are currently being developed (i.e. PD-68 is currently being developed with the Standard Rockwall a residential subdivision and PD-86 is currently being developed with the Alders at Rockwall age-restricted multi-family and the Village Green memory care facility).

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is a permitted *by-right* land use in a Light Industrial (LI) District. The subject property proposes five (5) points of ingress and egress (i.e. four (4) along Industrial Boulevard [main entrance] and one (1) along Justin Road). Other than the exceptions being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	x>71.022-acres; In Conformance
<i>Minimum Lot frontage</i>	100-Feet	x> 1,300-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	x>3,000-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	x>300-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet + ½ H	x>1,200-feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet + ½ H	x=515-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	x>49'10"; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x<51%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	x>90%; Exception Required for Tilt-Wall
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/1000 SF (221 Required)	x=480; In Conformance
<i>Minimum Stone Requirement</i>	20% Each Facade	x=0%; Exception Required
<i>Minimum Landscaping Percentage</i>	15%	x=42.7%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	x<90%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 248.5-caliper inches to be removed from the site, of which the majority are hackberry and cedar trees. The applicant is providing approximately 353, four (4) inch caliper canopy trees on site. This satisfies the required tree mitigation.

CONFORMANCE WITH THE CITY'S CODES

Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that the "*Light Industrial (LI) District* is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses." The proposed warehouse/distribution center is a permitted *by-right* land use in the Light Industrial (LI) District.

According to Subsection 05.02.B, *Screening from Residential Uses*, of Article 08, *Landscape Standards*, of the Unified Development Code (UDC), non-residential developments that have a "...side or rear contiguous to any residential zoned or used property...shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency...(t)he canopy trees shall be placed on 20-foot centers." In addition, Subsection 01.05.E, *Outside Storage*, of Article 05, of the Unified Development Code (UDC), non-residential developments with outside storage vehicles "...shall be screened...at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission*) and Canopy Trees on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve a screening method in accordance with Subsection 05.02, *Landscape Screening Standards*, of Article 08, *Landscape Standards*...along the entire length of the adjacency...(t)he canopy trees shall be placed on 20-foot centers."

In this case, all operations will be indoors with no outside storage of materials other than service vehicles, which are being screened with three (3) tier screening (*as detailed above*). The three (3) tiered screening will be utilized along the southern perimeter of the storage area rather than directly adjacent to the southern property boundary (*i.e. adjacent to the Herman Utley Middle School*). This should provide better screening of -- *in a closer proximity to* -- the vehicle storage areas. In addition to the three (3) tiered screening -- *and within the ten (10) foot landscape buffers along Justin Road and Industrial Boulevard* -- the applicant is providing one (1), four (4) inch caliper canopy tree and one (1) accent tree on 50-foot centers. This should provide additional screening for the site. The proposed landscaping within these buffers are in compliance with the Unified Development Code (UDC). Staff should note that the applicant originally submitted a landscape plan indicating a minimum six (6)-foot tall masonry wall to be used for screening; however, the Architectural Review Board (ARB) recommended the applicant change this to the three (3) tiered screening to soften the appearance of the proposed warehouse/distribution center building. With all this being said, the proposed landscape screening is a discretionary approval for the Planning and Zoning Commission upon a determination that the provided screening will achieve the intent of the landscaping ordinance. This has been included as a condition of approval in this case memo.

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) Building Materials.

- (a) Stone. According to Section 05.01(A)(1)(a)(1), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the UDC, a minimum of 20% stone is required on all building façades. In this case, the applicant is providing a form-liner that represents split-face CMU block on all facades. *Staff should note that this is not an uncommon request with larger industrial buildings.*
- (b) Tilt Wall. According to Section 05.01(A)(1)(a)(2), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the UDC, the use of concrete tilt-up walls may be permitted on a case-by-case basis by the Planning and Zoning Commission. The proposed building is 100% tilt-wall construction, with the exception of the entryway elements constructed with metal accent materials. *Staff should note that this exception is not atypical of larger industrial buildings.*

(2) Articulation.

- (a) Building Façades. According to Section 05.01(C)(1), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary façades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of four (4) times the walls height without an architectural/entryway element. In this case, the proposed building does incorporate vertical and horizontal projections; but does not meet the standards on the primary façades. *Staff*

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the...(UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." In this case, the applicant has provided a letter explaining the exceptions and offering compensatory measures in the form of additional landscaping. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested exceptions. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan (*Comp Plan*) indicates that the subject property is located in the Central District which is..."composed of a wide range of uses that vary from single-family to industrial... (t)he Central District also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Rail Road line that bisect the district.." Additionally, the District Strategies for the Central District states that there are "...some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward."

According to the Comprehensive Plan, industrial developments should be adequately buffered and/or screened from residential land uses. In addition, the Comprehensive Plan states that "(b)uffers utilizing a combination of berms, landscaping and trees should be used for industrial properties that are adjacent to non-industrial land uses or agricultural land." While the adjacent property (*i.e. Herman Utley Middle School*) is zoned Agricultural (AG) District -- *which is considered to be residential* - the property is developed with a non-residential land uses (*i.e. public school, football stadium, aquatic center, etc.*). Regardless of the adjacency, the applicant is proposing to install a three (3) tiered landscape screening system in conjunction with a wrought-iron fence to accomplish the screening referenced by the Comprehensive Plan and Unified Development Code (UDC). Based on the applicant's landscape plan, they are in substantial compliance with the policy [*Section 02.04, Chapter 1*].

The Comprehensive Plan also states that "(a)ll non-residential buildings should be designed so that negative visual impacts of the development are minimized..." [*Goal 03; Chapter 9*]. When reviewing these policies, the applicant's intent to visually screen the outside storage area from residentially zoned property (*i.e. Herman Utley Middle School*) and adjacent roadways with a three (3) tiered screening, demonstrates that the proposed operations of the warehouse/distribution center will have a minimal visual impact on adjacent properties.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 23, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations for the warehouse/distribution facility and recommended the applicant provide additional massing of the primary entrance by creating a more pronounced bump-out of the element and canopy. The ARB also recommended this element include the metal material that is on the corner of the building as an accent. Additionally, the ARB recommended the applicant consider providing three (3)-tiered landscape screening in place of the masonry wall for the screening of the storage areas. They also recommended the installation of a berm with trees along Justin Road to better soften the appearance of the site. The applicant agreed with the ARB, and will provide updated elevations and landscape plans for the ARB to review at their next meeting on March 9, 2021.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a warehouse/distribution center on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Three (3) tiered screening as depicted on the landscape plan shall be permitted in lieu of the required six (6) foot masonry wall;
- (3) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in the exceptions listed in the *Exceptions Requested by the Applicant* section of this case memo; and,
- (4) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address Justin Road

Subdivision _____ Lot _____ Block _____

General Location Southwest corner of Justin Rd and Industrial Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI Current Use Vacant

Proposed Zoning LI Proposed Use Distribution Center

Acreage 68 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Smartt Lofland & J Bond Ptns	<input type="checkbox"/> Applicant	Seefried Industrial Properties
Contact Person	Bill Lofland	Contact Person	Jonathan Stites
Address	1 Carmartchen Ct	Address	3030 LBJ Freeway, Suite 1650
City, State & Zip	Dallas, TX 75225	City, State & Zip	Dallas, TX 75234
Phone	972-771-5212	Phone	214-393-6066
E-Mail	bill_lofland@juno.com	E-Mail	jstites@seefriedproperties.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jonathan Stites ^{Owner's Representative} the undersigned, who stated the information on this application to be true and certified the following:

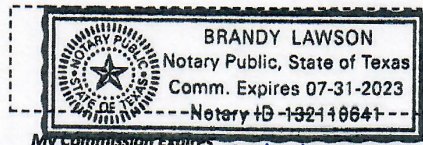
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of January, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of January, 20 21.

Owner's Representative

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 07/31/2023

Letter of Authorization

Property Name: Approximately 90 acres, SW Corner of Justin Road and Industrial Blvd
Rockwall, TX

To whom it may concern,

I hereby authorize Jonathan Stites of Seefried Industrial Properties, Inc., or RLP III Rockwall, LLC, to sign the Development Application and related site plan approval documents for the proposed distribution center contemplated on the site referenced above.

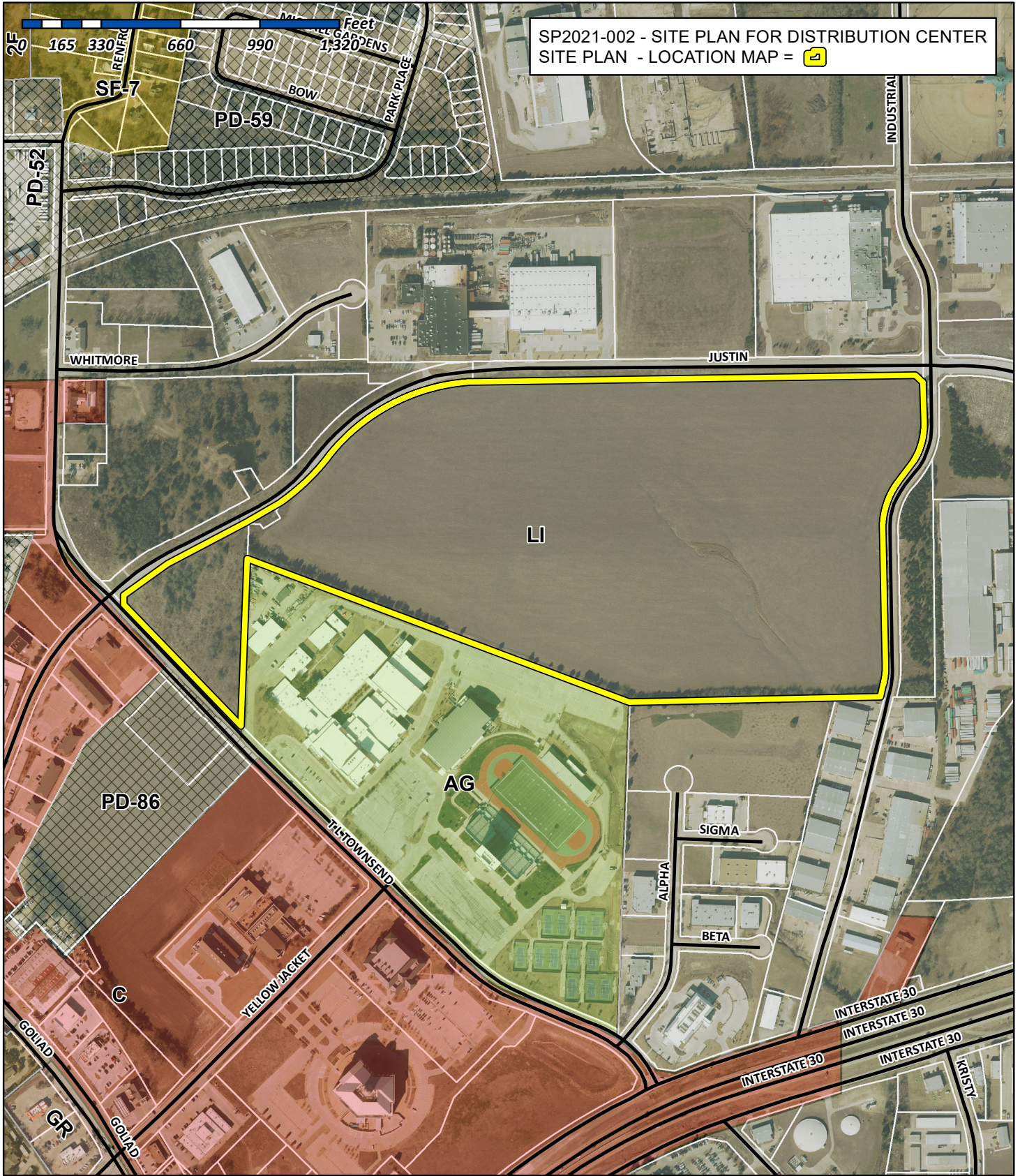
SELLER:

William B. Lofland

By: 

Name: William B. Lofland

Date Signed: 1/12/2021



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





March 2, 2021

City of Rockwall
Planning and Zoning Department
385 S Goliad Street
Rockwall, TX 75087

RE: Delivery Station DDF9
SWC Justin Rd & Industrial Blvd.
Rockwall, TX
Project Number: SP2021-002

To whom it may concern,

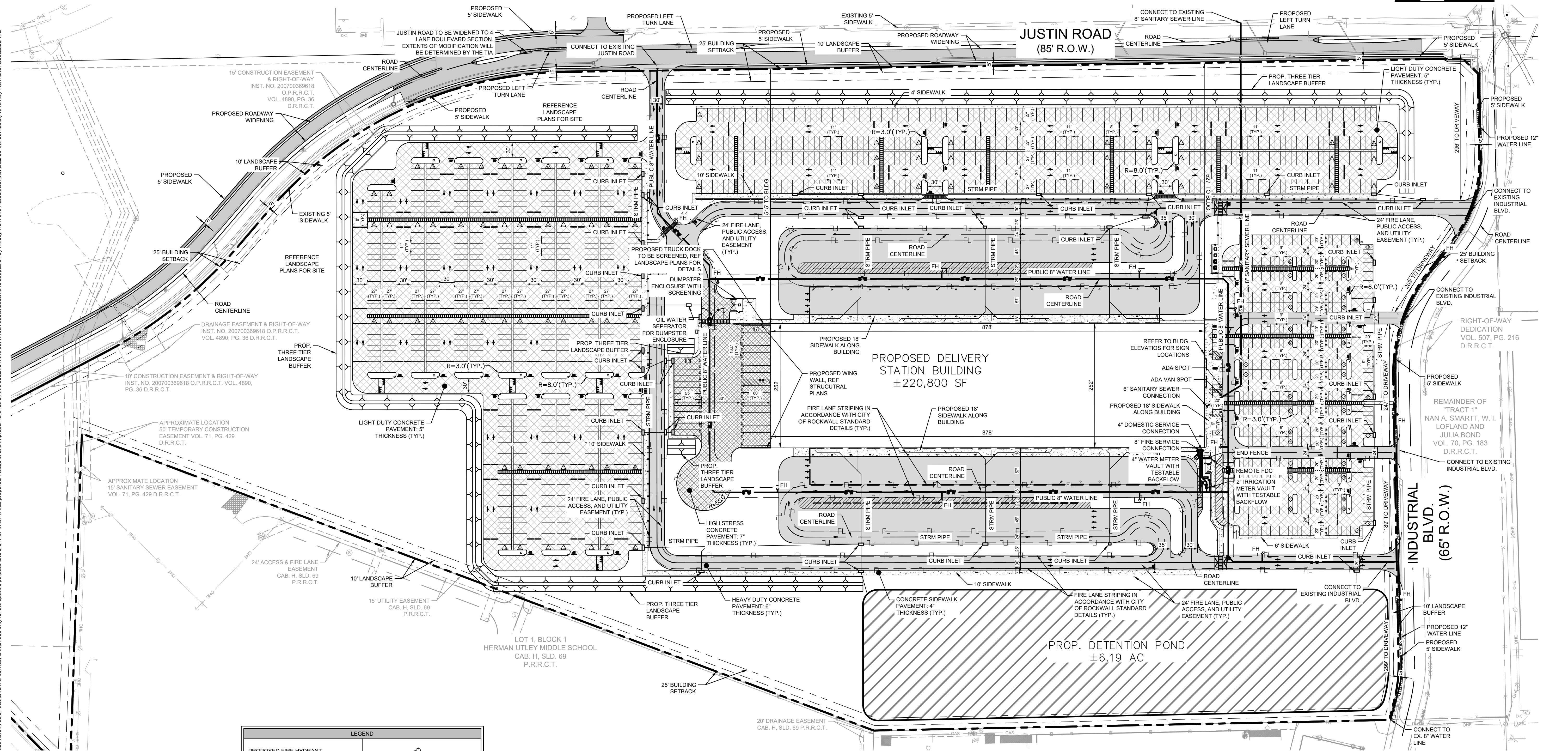
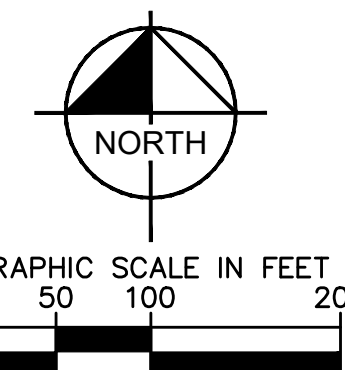
We request that the following exceptions to the Unified Development Code be granted by the Planning and Zoning Commission for the proposed warehouse/Distribution center located at the SWC of Justin Rd. and Industrial Blvd.

1. Stone accent: In lieu of the stone accent, we propose the use of form-liners to imprint a stone pattern on the concrete till wall. Additional landscape buffer and canopy trees as compensatory measures.
2. Tilt-Up Wall Construction: Due to the proposed use of this facility, we request that an exception be made for the use of tilt-up wall construction. Additional secondary materials (i.e., metal panels) have been incorporated as part of building articulation. Additional landscape buffer and canopy trees as compensatory measures.
3. Roof Design Standards: At this time, an exception for the roof design standards is not needed. The interior side of the projecting elements and parapet walls will be finished with the same materials as the exterior as noted on the revised architectural drawings.
4. Building Articulation: To further enhance the building articulation, we have increased the height of the main entry/architectural element and revised the material to include metal panels. We have added additional landscaping as a compensatory measure.

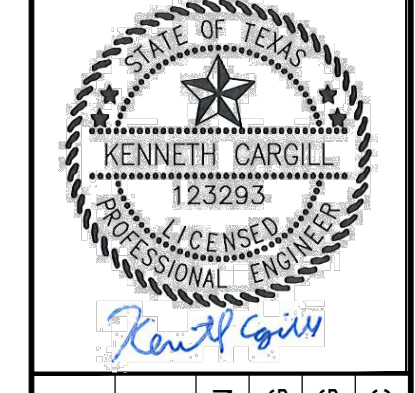
If you have any additional comments or questions, do not hesitate to contact our office.

Sincerely,

Michael R. Black, AIA, NCARB
Texas State Reg. No. 13467



Kimley»Horn
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079
 PHONE: 281-597-9300
 WWW.KIMLEY-HORN.COM
 TBE FIRM REGISTRATION F-928



KHA PROJECT	069284835
DATE	MARCH 2021
SCALE	AS SHOWN
DESIGNED BY	BG
DRAWN BY	BG
CHECKED BY	KWC

SITE PLAN

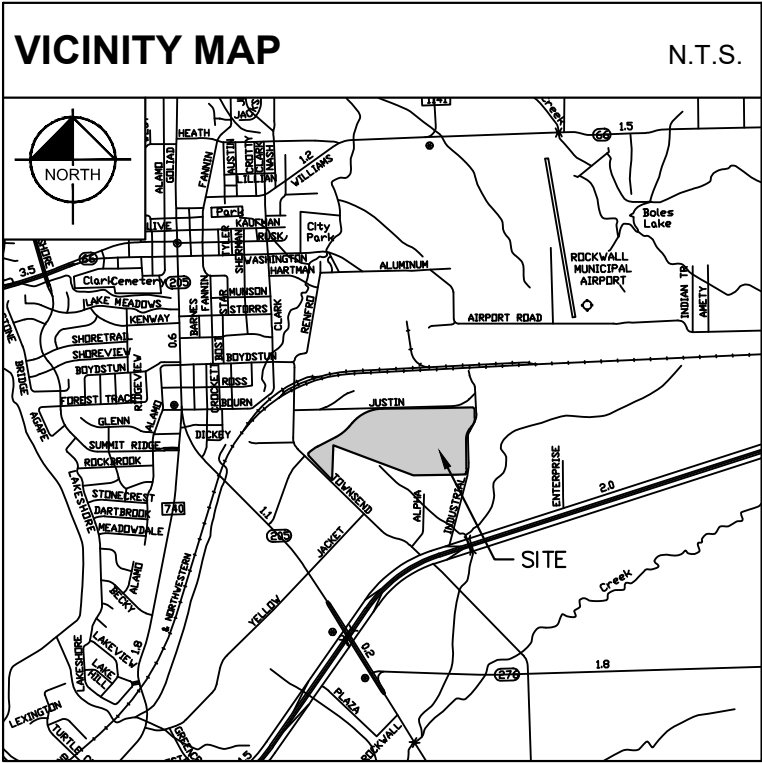
JUSTIN ROAD DISTRIBUTION CENTER

SHEET NUMBER
C-100

DATE _____ REVISIONS _____

Plotted By: Sowinski, Patrick. Sheet: Sat:Kha. Layout: C-200. March 03, 2021 06:22:10pm. Wimley-horn.com\kha. hough@kha.com. C:\work\069284835-DDF8-Rockwall\CAD\Exhibits\Plan\Site Plan.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Review of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - PAVEMENT SECTIONS SHOWN FOR REFERENCE ONLY. SEE GEOTECH FOR DETAILS.



LEGEND

PROPOSED FIRE HYDRANT	⊕
PROPOSED FIRE LANE	FL — FL
PROPERTY LINE	— — — —
SAWCUT LINE	- - - - -
PROPOSED CURB	— — — —
LIGHT-DUTY CONCRETE	[Pattern]
FIRE LANE CONCRETE	[Pattern]
HEAVY DUTY CONCRETE	[Pattern]
PROPOSED ON SITE SIDEWALK	[Pattern]
PROPOSED OFF SITE SIDEWALK	[Pattern]
PROPOSED ROADWAY WIDENING	[Pattern]

PARKING SUMMARY (PER CLIENT REQUIREMENTS)

TOTAL LAND AREA	3,093,718 SF/71.022 AC
PROPOSED TOTAL BUILDING AREA	±220,800 SF
PROPOSED TRAILER PARKING	30 SPACES
PROPOSED AUTO PARKING (9'X20')	480 SPACES
REQUIRED AUTO PARKING BY CLIENT	457 SPACES
PROPOSED VAN PARKING (11'X27')	1,118 SPACES
REQUIRED VAN PARKING	1,103 SPACES
PROPOSED ACCESSIBLE PARKING	9 SPACES
REQUIRED ACCESSIBLE PARKING	9 SPACES

SITE INFORMATION

LOT 1	PAVEMENT	1,388,772 SF	31.193 ACRES	(46.828%)
BUILDING COVERAGE	220,800 SF	5.069 ACRES	(7.610%)	
LANDSCAPE AND OPEN SPACE	1,322,048 SF	30.350 ACRES	(45.562%)	
TOTAL	3,093,718 SF	71.022 ACRES		

PARKING SUMMARY (PER CITY OF ROCKWALL REQUIREMENTS)

REQUIRED PER ZONING	PROVIDED
1 PER 1000 SQ. FT.	221 SPACES
PROPOSED	480 SPACES
ACCESSIBLE SPOTS REQ.	ACCESSIBLE SPOTS PROV.
TOTAL (INCLUDES 2 VAN SPOTS)	9 SPACES
TOTAL (INCLUDES 2 VAN SPOTS)	9 SPACES

DEVELOPMENT INFORMATION

ZONING - LI, LIGHT INDUSTRIAL DISTRICT	
BUILDING AREA 1 (HT=44.5')	
STORY	AREA (GSF)
LL	220,822
FLOOR AREA RATIO (FAR)	0.07
FOUNDATION TYPE	SLAB ON GRADE

SITE PLAN SIGNATURE BLOCK:

APPROVED: _____
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

WITNESS OUR HANDS, this ___ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SITE PLAN
JUSTIN ROAD DISTRIBUTION CENTER
 A0099 A HANNA, TRACT 20-1,
 ACRES 71.022, (PT OF 83.506 AC TR)
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DEVELOPER:
 SEEFRIED INDUSTRIAL PROPERTIES
 3030 LBJ FREEWAY, SUITE 1650
 DALLAS, TX 75234
 CONTACT: JONATHAN STITES
 E-MAIL: JSTITES@SEEFRIEDPROPERTIES.COM

OWNER:
 SMARTT LOFLAND & J BOND PTRNS
 1 CARMARTHEN CT
 DALLAS, TX 75225-2457
 CONTACT: BILL LOFLAND
 E-MAIL: BILL_LOFLAND@JUNO.COM

ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC.
 11700 KATY FREEWAY, SUITE 800
 HOUSTON, TX 77079-1221
 PHONE: 281-597-9300
 CONTACT: KENNETH CARGILL, P.E.

CASE NUMBER: SP2021-002

EXTERIOR FINISH PERCENTAGE

EAST ELEVATION			NORTH ELEVATION		
TOTAL ELEVATION AREA		PERCENTAGE	TOTAL ELEVATION AREA		PERCENTAGE
CONCRETE TILT	6,818 SQFT	63.77 %	CONCRETE TILT	33,786 SQFT	81.54 %
MP-1	3,470 SQFT	32.47 %	MP-1	2,073 SQFT	5.00 %
MP-2	238 SQFT	2.23 %	MP-2	35 SQFT	0.10%
FORMLINER	164 SQFT	1.53 %	FORMLINER	5,538 SQFT	13.36 %
WEST ELEVATION			SOUTH ELEVATION		
TOTAL ELEVATION AREA		PERCENTAGE	TOTAL ELEVATION AREA		PERCENTAGE
CONCRETE TILT	7,978 SQFT	77.18 %	CONCRETE TILT	35,984 SQFT	86.64 %
MP-1	257 SQFT	2.48 %	FORMLINER	5,538 SQFT	13.36 %
FORMLINER	2101 SQFT	20.34 %			

EXTERIOR FINISH LEGEND

	PT-1 SHERWIN WILLIAMS SW 7053 NEBULOUS WHITE		PT-2 SHERWIN WILLIAMS SW 7056 GRAY MATTERS
	PT-3 PANTONE 2995 C		ANODIZED ALUMINUM STOREFRONT SYSTEM
	PT-4 ATAS MFR. STANDARD "BRIGHT WHITE"		PT-5 OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES
	MP-1 ATAS RIGID WALL OR RIGID WALL II COLOR: TITANIUM (35)		MP-2 ATAS VERSA SEAM - 8" REVEAL SPACING, CUSTOM COLOR TO MATCH PT-3; TEXTURE SMOOTH
	PT-9 SAFETY YELLOW		SPLITFACE BLOCK PATTERN ON TILT WALL, COLOR TO MATCH TILT WALL

KEY NOTES

1. ROOF LINE BEYOND
2. ROOF TOP UNIT BEYOND
3. CONCRETE PANEL BEYOND
4. SPLITFACE BLOCK PATTERN ON TILT WALL, MANUF: FITZGERALD FORMLINERS; PATTERN NUMBER: 16977PLP, STACKED SPLITFACE BLOCK, OR EQUAL.

GENERAL NOTES

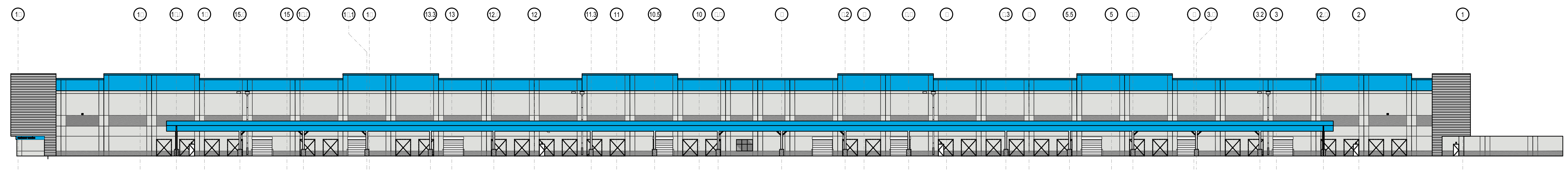
1. ALL SIGNAGE WILL BE UNDER A SEPARATE PERMIT.

pdms design group
 2215 E. Randol Mill Road, Suite 300
 Arlington, Texas 76011
 817.633.4200 p 817.633.4153 f

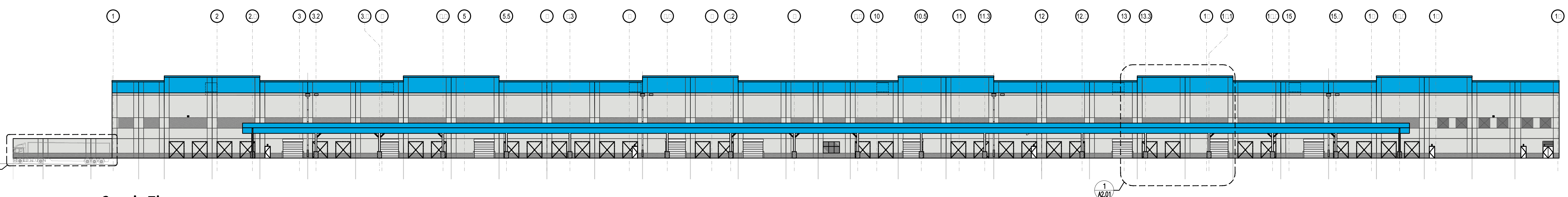
Project Address
Delivery Station
SEC of Justin Rd & Industrial Blvd.
DDF9- Rockwall

Issue Date: 03/02/21

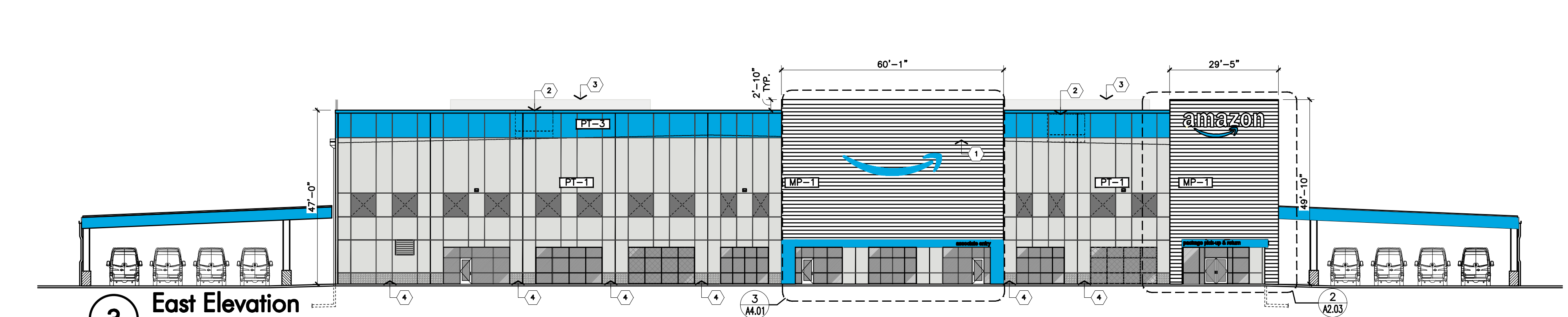
Revisions	Date	Description	By



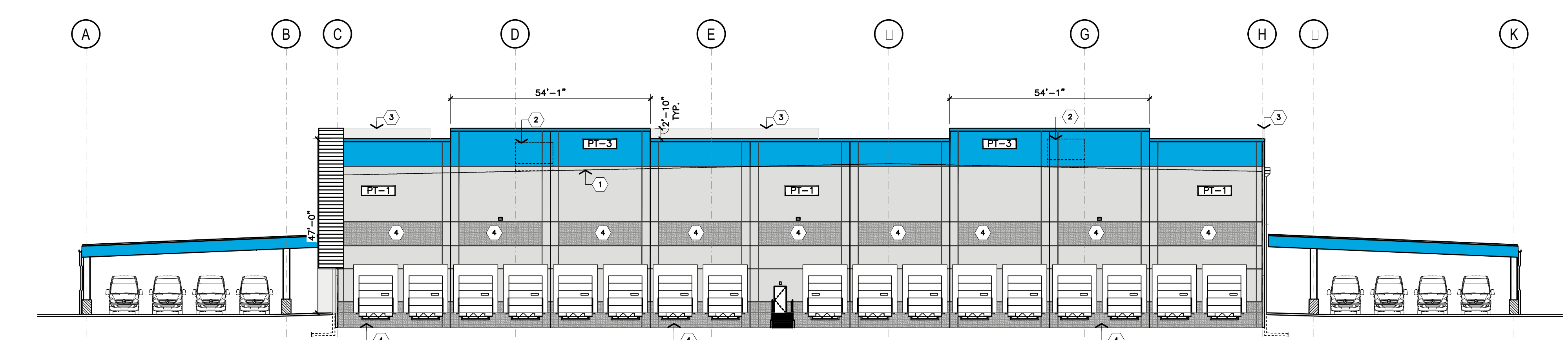
5 North Elevation
 SCALE 1" = 30'-0"



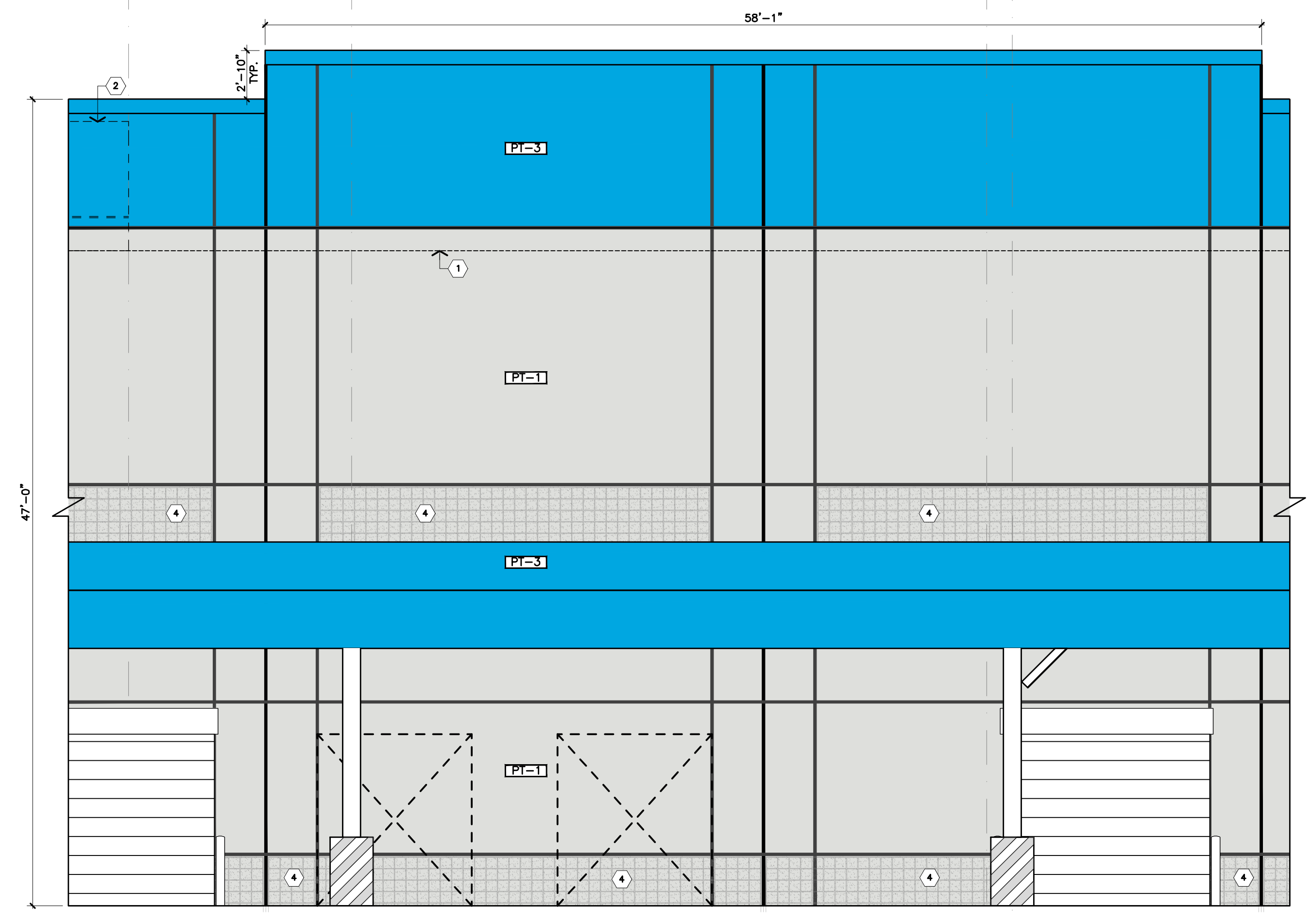
4 South Elevation
 SCALE 1" = 30'-0"



3 East Elevation
 SCALE 1" = 20'-0"



2 West Elevation
 SCALE 1" = 20'-0"



1 South Elevation
 SCALE 3/16" = 1'-0"

SITE PLAN SIGNATURE BLOCK:

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2021.

WITNESS OUR HANDS, this ____ day of _____, 2021.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

CASE NUMBER: SP2021-002

DELIVERY STATION: DDF9
SEC OF JUSTIN RD & INDUSTRIAL BLVD.
ROCKWALL, TX 77573

mb
 MICHAEL R. BLACK, AIA
 2225 E. RANDOL MILL RD., SUITE 300
 ARLINGTON, TEXAS 76011
 817.701.4819

PRELIMINARY
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

Job Number: 200162
 Drawn By: NG
 Apprd By: SV
 Sheet Title: **Exterior Elevations**

Sheet Number: **A2.01**

Issue Date **03/02/21**

Revisions	Date	Description	By
△			
△			
△			
△			
△			
△			

DELIVERY STATION: DDF9
SEC OF JUSTIN RD & INDUSTRIAL BLVD.
ROCKWALL, TX 77573

mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.201.4812

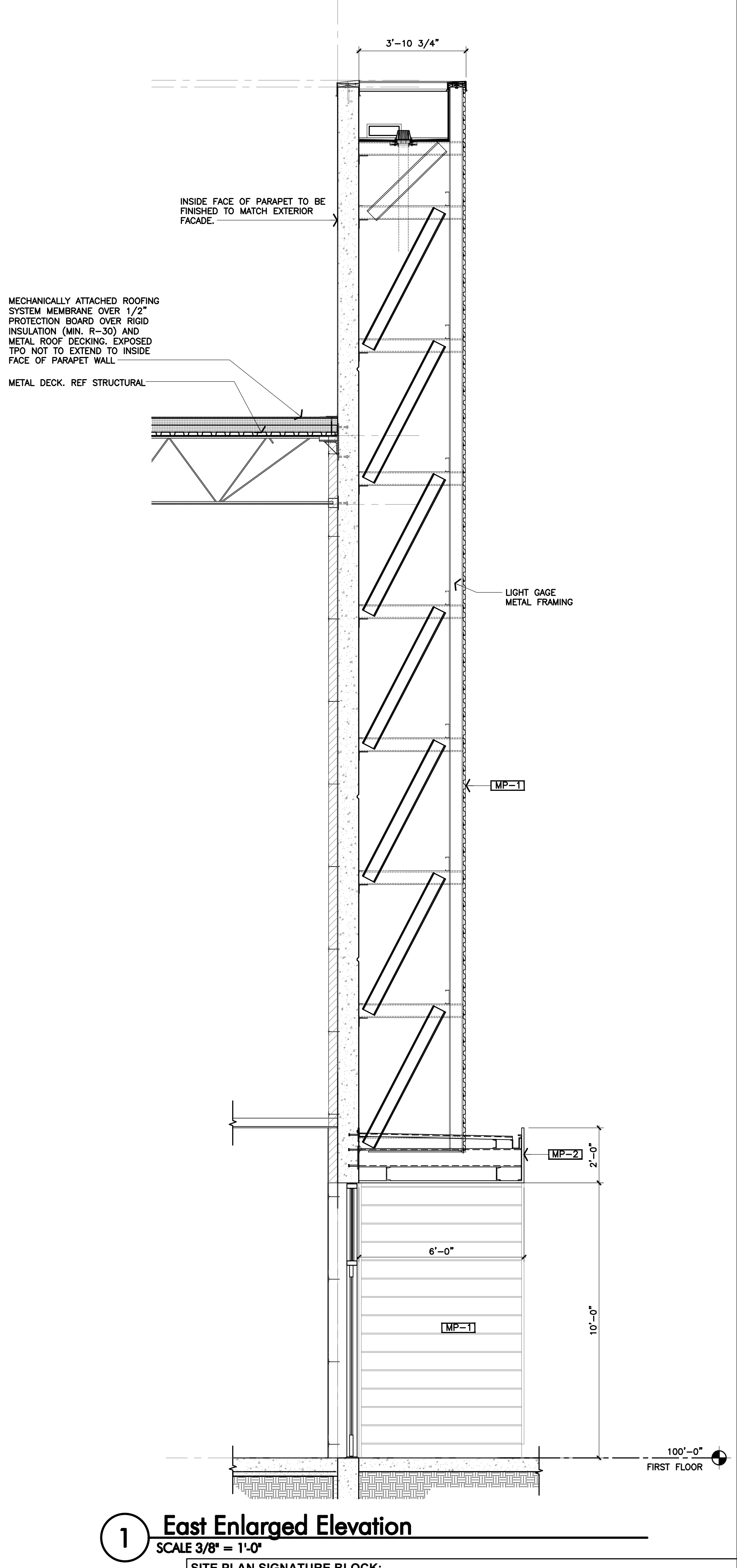
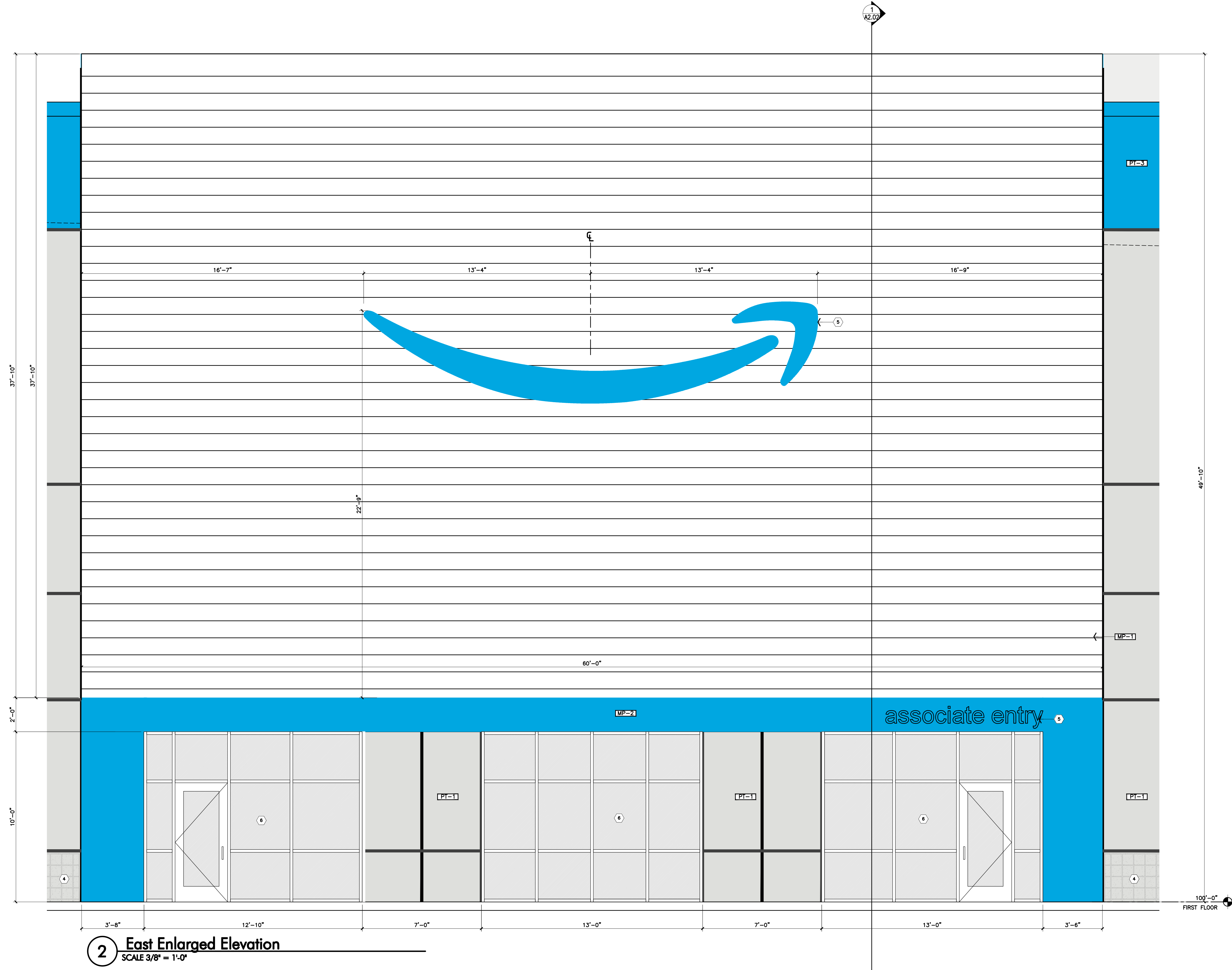
PRELIMINARY
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

Job Number 200162
Drawn By NG
App'd By SV

Sheet Title
Enlarged Elevations
and Canopy Sections

Sheet Number
A2.02

EXTERIOR FINISH LEGEND		KEY NOTES
	PT-1 SHERWIN WILLIAMS SW 7063 NEBULOUS WHITE	1 ROOF LINE BEYOND
	PT-2 SHERWIN WILLIAMS SW 7066 GRAY MATTERS	2 ROOF TOP UNIT BEYOND
	PT-3 PANTONE 2995 C	3 CONCRETE PANEL BEYOND
	PT-4 WHITE, STANDARD "BRIGHT WHITE"	4 SPLIFFACE BLOCK PATTERN ON TILT WALL, MANUF: FITZGERALD FORMLINERS; PATTERN NUMBER: 16977LPLP STACKED SPLIFFACE BLOCK, OR EQUAL.
	PT-5 OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	5 TENANT SIGNAGE
	MP-1 ATAS RIGID WALL OR RIGID WALL II COLOR: TITANIUM (35)	6 CLEAR GLAZING ONLY AT EMPLOYEE SCREENING
	MP-2 ATAS VERSA SEAM - 8" REVEAL SPACING, CUSTOM COLOR TO MATCH PT-3; TEXTURE: SMOOTH	7 WINDOW TYPE TO RECEIVE OBSCURED GLAZING
	PT-9 SAFETY YELLOW	
	SPLIFFACE BLOCK PATTERN ON TILT WALL. COLOR TO MATCH TILT WALL.	



SITE PLAN SIGNATURE BLOCK:

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER: SP2021-002

EXTERIOR FINISH LEGEND

	PT-1 SHERWIN WILLIAMS SW 7063 NEBULOUS WHITE		PT-2 SHERWIN WILLIAMS SW 7066 GRAY MATTERS
	PT-3 PANTONE 2995 C		MP-1 ANODIZED ALUMINUM STOREFRONT SYSTEM
	PT-4 WAFR STANDARD "BRIGHT WHITE"		PT-5 OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES
	MP-1 ATAS RIGID WALL OR RIGID WALL II COLOR: TITANIUM (35)		MP-2 ATAS VERSA SEAM - 8" REVEAL SPACING. CUSTOM COLOR TO MATCH PT-3, TEXTURE SMOOTH
	PT-9 SAFETY YELLOW		SPLITFACE BLOCK PATTERN ON TILT WALL. COLOR TO MATCH TILT WALL.

KEY NOTES

- 1 ROOF LINE BEYOND
- 2 ROOF TOP UNIT BEYOND
- 3 CONCRETE PANEL BEYOND
- 4 SPLITFACE BLOCK PATTERN ON TILT WALL. MANUF: FITZGERALD FORMLINERS. PATTERN NUMBER: 16977LPLP STACKED SPLITFACE BLOCK, OR EQUAL.
- 5 TENANT SIGNAGE
- 6 CLEAR GLAZING ONLY AT EMPLOYEE SCREENING
- 7 WINDOW TYPE TO RECEIVE OBSCURED GLAZING
- 8 WINDOW TYPE TO RECEIVE WINDOW FILM ONLY

pahms design group
 2225 E. Randol Mill Road, Suite 300
 Arlington, Texas 76011
 817.633.4200 p 817.633.4153 f

Project Address
**Delivery Station
 SEC of Justin Rd &
 Industrial Blvd.
 DDF9- Rockwall**

Issue Date **03/02/21**

Revisions	Date	Description	By
△			
△			
△			
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**DELIVERY STATION: DDF9
 SEC OF JUSTIN RD & INDUSTRIAL BLVD.
 ROCKWALL, TX 77573**

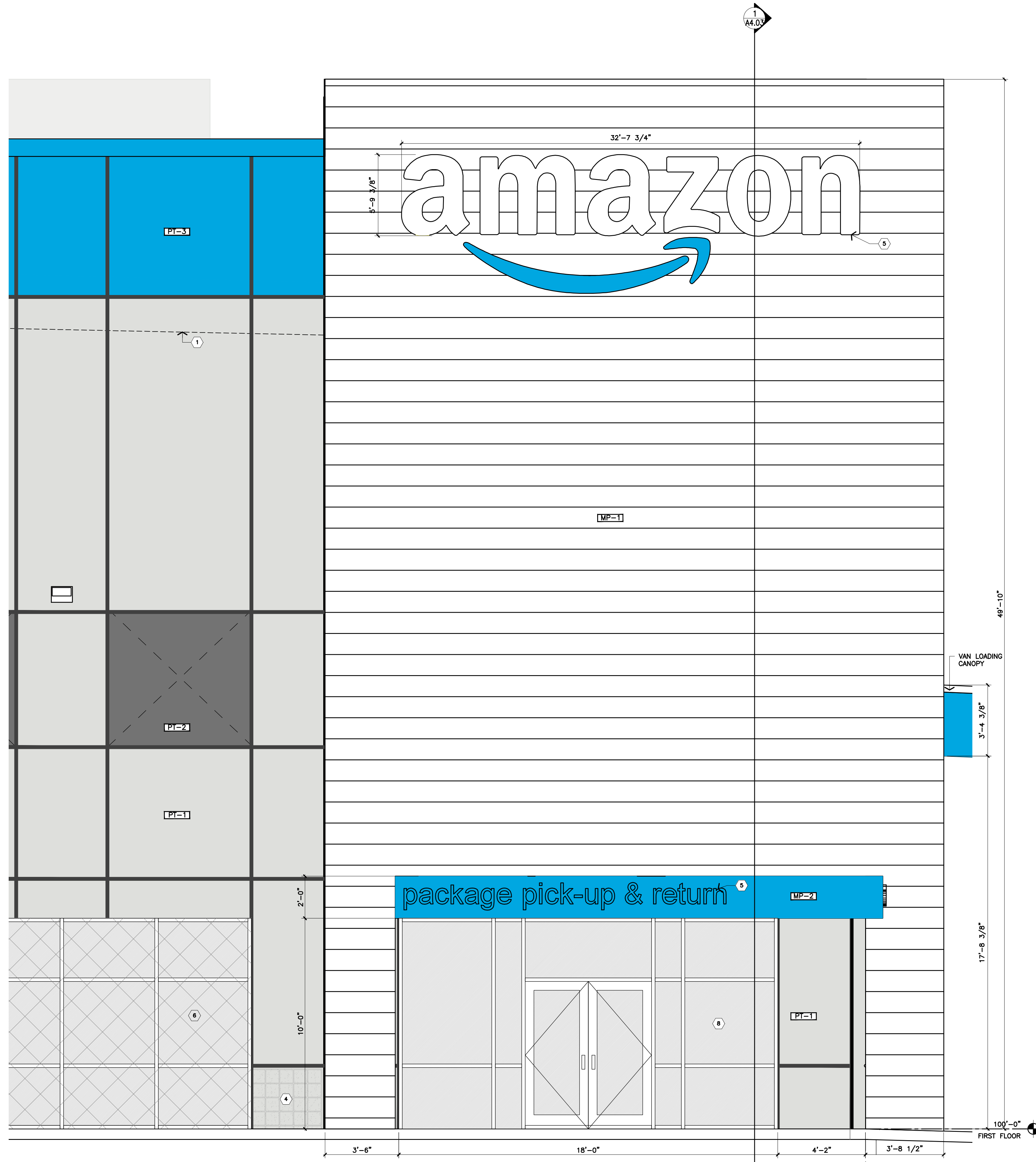
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 MICHAEL R. BLACK, AIA
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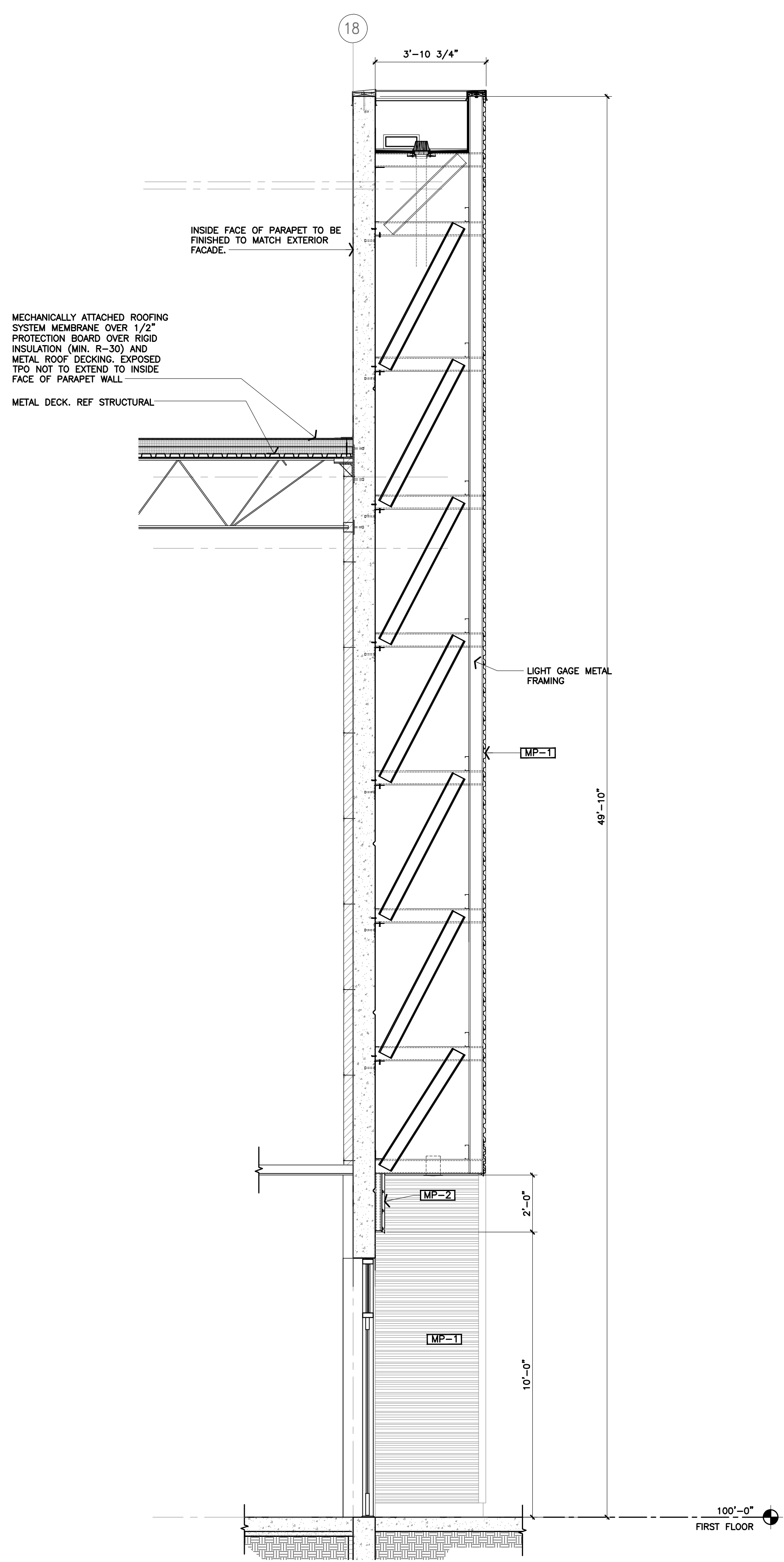
Job Number 200142
 Drawn By NG
 App'd By SV

Sheet Title
**Enlarged Elevations
 and Canopy Sections**

Sheet Number
A2.03



2 East Enlarged Elevation
 SCALE 3/8" = 1'-0"



2 East Enlarged Elevation
 SCALE 3/8" = 1'-0"

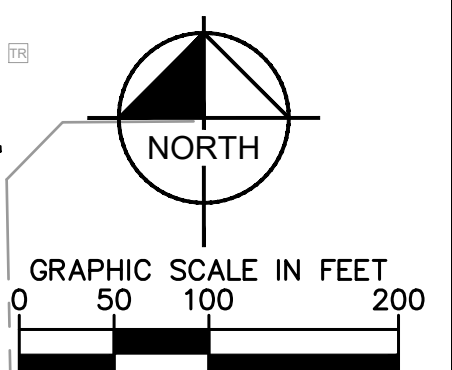
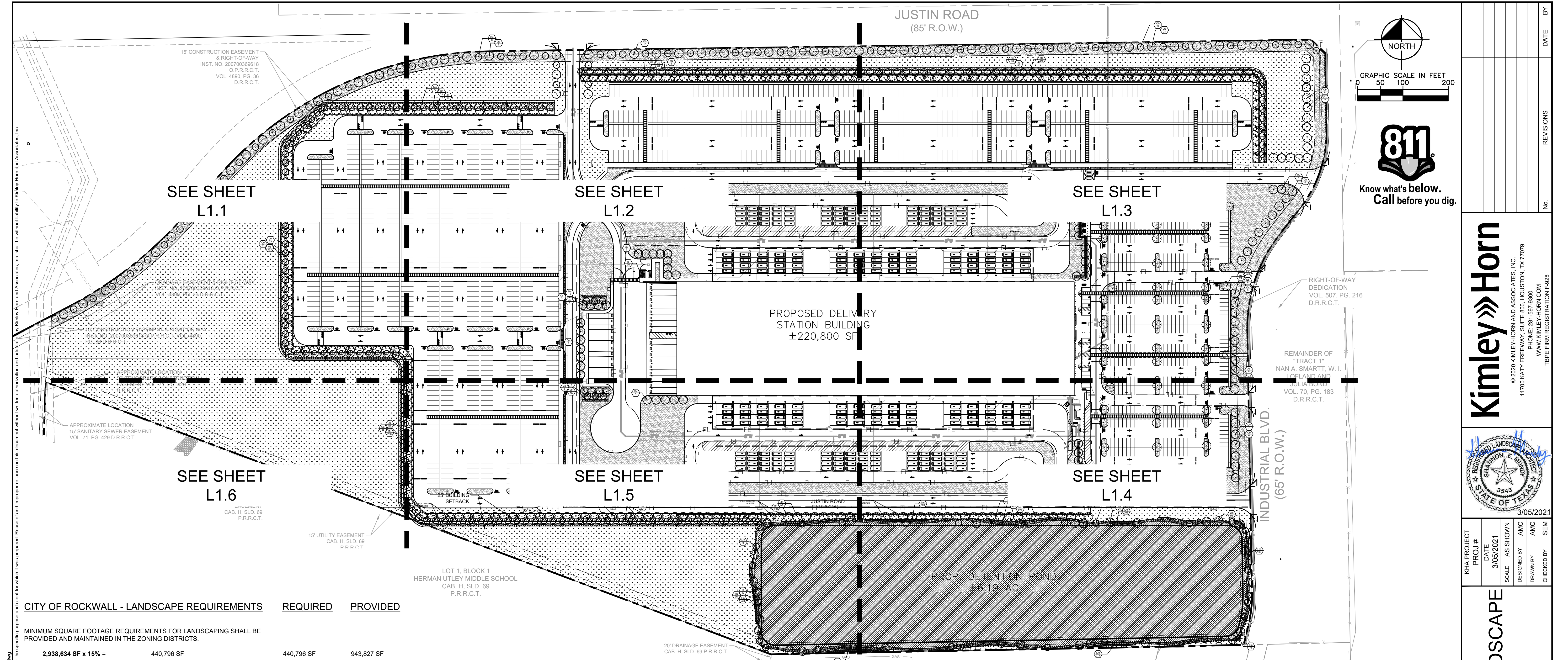
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 APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

CASE NUMBER: SP2021-002



NO.	REVISIONS	DATE	BY

Kimley»Horn
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079
 WWW.KIMLEY-HORN.COM
 PHONE: 281-597-0300
 TBP# FRM REGISTRATION F-928



KHA PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	3/05/2021	AS SHOWN	AMC	AMC	SEM

OVERALL LANDSCAPE PLAN

JUSTIN ROAD DISTRIBUTION CENTER
 ROCKWALL, FORT BEND COUNTY TEXAS

CITY OF ROCKWALL - LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN THE ZONING DISTRICTS.		
2,938,634 SF x 15% =	440,796 SF	943,827 SF
A MINIMUM 10' WIDE LANDSCAPE BUFFER STRIP MUST BE PROVIDED ALONG THE ENTIRE LENGTH OF THE PORTION OF THE PERIMETER OF ANY COMMERCIAL OR INDUSTRIAL LOT THAT ABUTS, WITHOUT AN ALL OR DRIVE SEPARATION, OR IS DIRECTLY ACROSS A PUBLIC STREET FROM A RESIDENTIAL ZONING DISTRICT.	YES	YES
ONE ACCENT TREE AND ONE CANOPY TREE PER 50 LF ARE REQUIRED TO BE LOCATED WITHIN THE TEN FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD AND INDUSTRIAL BLVD.		
JUSTIN ROAD: 2,990 FT / 50 = 60 TREES	60 ACCENT TREES 60 CANOPY TREES 120 TOTAL TREES	60 ACCENT TREES 60 CANOPY TREES 120 TOTAL TREES
INDUSTRIAL BOULEVARD: 1,186 FT / 50 = 24 TREES	24 ACCENT TREES 24 CANOPY TREES 48 TOTAL TREES	24 ACCENT TREES 24 CANOPY TREES 48 TOTAL TREES
A 3' BERM WITH 3-TIERED SCREENING WILL BE REQUIRED AND BE OF A MINIMUM HEIGHT OF 30" WILL BE LOCATED IN THE 10' LANDSCAPE SETBACK. BERM WILL HAVE A MINIMUM OF 1 CANOPY TREE AND 1 ACCENT TREE PER 20 LF OF FRONTAGE.		
JUSTIN ROAD: 4,086 FT / 20 = 214 TREES	214 ACCENT TREES 214 CANOPY TREES 428 TOTAL TREES	214 ACCENT TREES 214 CANOPY TREES 428 TOTAL TREES
ANY PARKING LOT WITH MORE THAN TWO ROWS OF SPACES SHALL HAVE A MINIMUM OF 5% OR 300 SF IN THE INTERIOR OF THE PARKING LOT IN LANDSCAPING. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL LANDSCAPING.		
155,185 SF PARKING AREA x 5% = 7,760 SF	7,760 SF	8,350 SF
ONE LARGE CANOPY TREE MUST BE PROVIDED AT ONE PER 10 PARKING STALLS.		
480 PARKING STALLS / 10 = 48 TREES	48 TREES	48 TREES
NO REQUIRED PARKING SPACE MAY BE LOCATED MORE THAN 80' FROM THE TRUNK OF A LARGE CANOPY TREE.	YES	YES
ALL TREES MUST BE INTERNAL TO PARKING LOT.	YES	YES
NO TREE SHALL BE PLANTED CLOSER THAN 2 1/2' TO THE PAVEMENT.	YES	YES

CITY OF ROCKWALL - LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
ALTERNATE DETENTION POND SCREENING - NATIVE SCREENING GRASSES AND SHRUBS SHALL BE PLANTED ALONG THE OUTSIDE OF THE DETENTION POND. THE DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUNDCOVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES.	269,377 SF / 1,500 SF = 180 SHRUBS	180 SHRUBS
TRUCK DOCK SCREENING - A WING WALL SHALL BE EXTENDED FOR THE TRUCK DOCK PARKING ADJACENT TO THE BUILDING. THE WALL SHALL BE A MINIMUM 6 FT TALL MASONRY WALL WITH CANOPY TREES PLACED 20 FT ON CENTER.	135 LF OF WALL / 20 = 7 TREES	7 TREES
OUTDOOR STORAGE SCREENING - ALL OUTSIDE STORAGE AREAS ARE REQUIRED TO BE SCREENED FROM PUBLIC RIGHT-OF-WAY AND RESIDENTIALLY ZONED PROPERTY WITH A 6 FT MASONRY SCREENING WALL. SCREENING PROVIDED BY BERM.	MITIGATION - 248.5 INCHES TOTAL REQUIRED. (SEE TP 3.00 FOR MITIGATION CALCULATIONS).	248.5 INCHES
63 TREES AT 4" CAL. = 252 INCHES OF MITIGATION PROVIDED ON SITE	248.5 INCHES	252 INCHES

SITE INFORMATION			
LOT 1			
PAVEMENT	1,358,772 SF	31.193 ACRES	(46.828%)
BUILDING COVERAGE	220,800 SF	5.069 ACRES	(7.610%)
LANDSCAPE AND OPEN SPACE	1,322,048 SF	30.350 ACRES	(45.562%)
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PARKING SUMMARY (PER CITY OF ROCKWALL REQUIREMENTS)			
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ACCESSIBLE SPOTS REQ. 9 SPACES (INCLUDES 2 VAN SPOTS)	ACCESSIBLE SPOTS PROV. 9 SPACES (INCLUDES 2 VAN SPOTS)		

DEVELOPMENT INFORMATION	
ZONING - LI, LIGHT INDUSTRIAL DISTRICT	
BUILDING AREA 1 (HT-44.5')	
STORY	AREA (GSF)
LL	220,822
FLOOR AREA RATIO (FAR)	0.07
FOUNDATION TYPE	SLAB ON GRADE

CAUTION!
 EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SITE PLAN SIGNATURE BLOCK:
 APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
 WITNESS OUR HANDS, this ___ day of _____.
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN
DDF9 ROCKWALL
 A0099 A HANNA, TRACT 20-1,
 ACRES 71.022, (PT OF 83.506 AC TR)
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 SMARTT LOFLAND & J BOND PTNRS
 1 CARMARTHEN CT
 DALLAS, TX 75225-2457
 CONTACT:
 E-MAIL:

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC
 11700 KATY FREEWAY, SUITE 800
 HOUSTON, TX 77079-1221
 PHONE: 281-920-6322
 CONTACT: SHANNON MUNDY, PLA.

CASE NUMBER: SP2021-002

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.

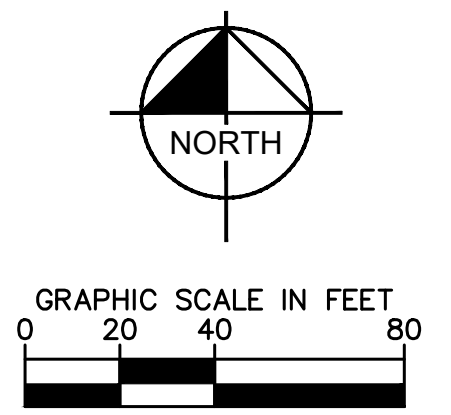
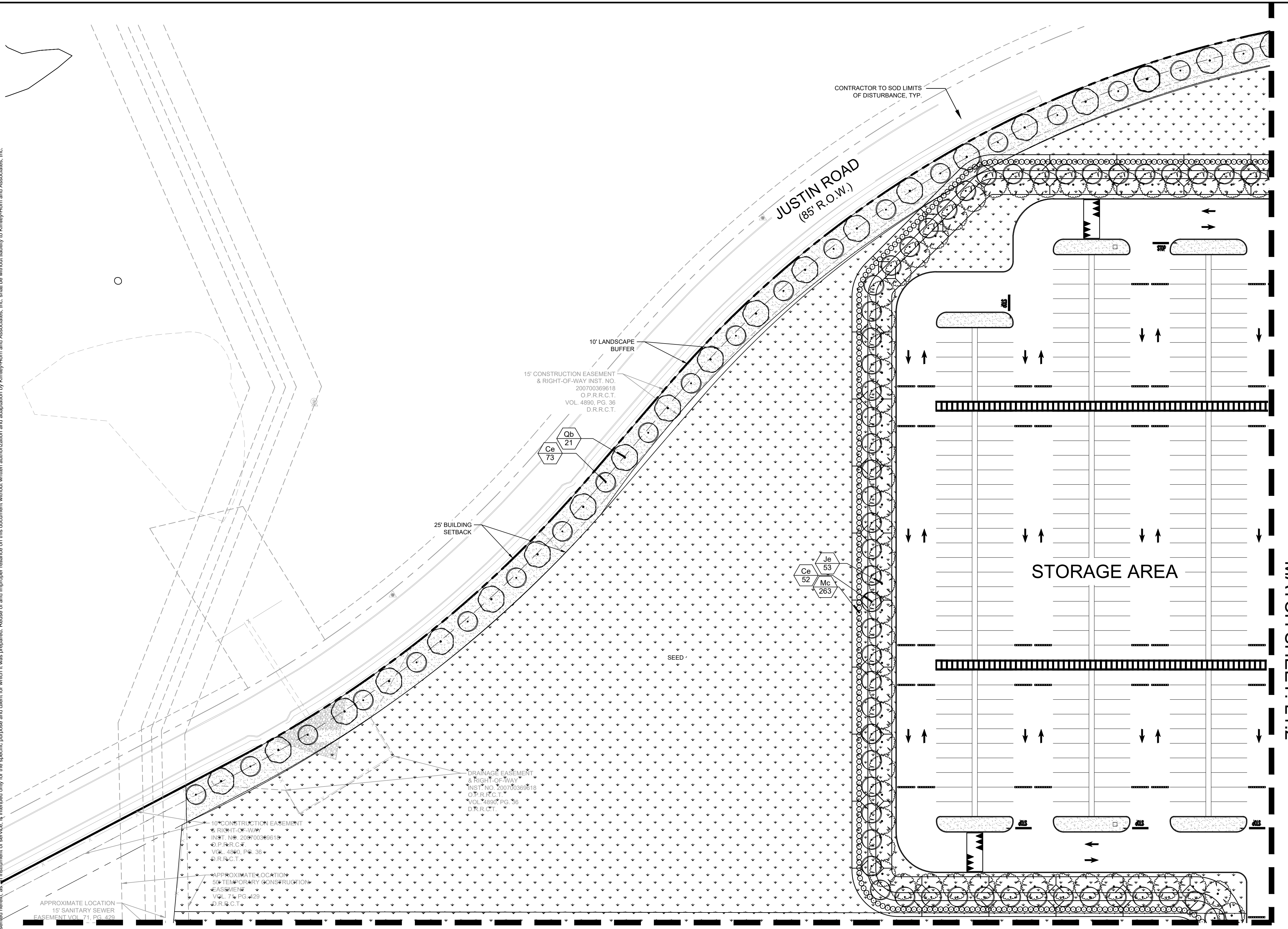
NOTE: AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

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MATCH SHEET: L1.2

PLANT LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	Ay	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		Id	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY		Lm	LIRIOPE MUSCARI	LILYTURF
	Ce	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK		In2	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY		NS	NATIVE AMERICAN SEED	DAM SLOPE MIX
	Id2	ILEX DECIDUA	POSSUMHAW		Mc	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		SEED	CYNODON DACTYLON	BERMUDA GRASS
	Je	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR		Ro	ROSMARINUS OFFICINALIS	ROSEMARY		SOD	CYNODON DACTYLON	BERMUDA GRASS
	Qb	QUERCUS BUCKLEYI	TEXAS RED OAK								
	Qv	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK								
	Td	TAXODIUM DISTICHUM	BALD CYPRESS								

811
Know what's below.
Call before you dig.

CAUTION!!
EXISTING UNDERGROUND UTILITIES IN THE AREA
CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE
HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE
TO DAMAGE INCURRED DURING CONSTRUCTION.
CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY
DISCREPANCIES ON THE PLANS.

SITE PLAN SIGNATURE BLOCK:

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2021.

WITNESS OUR HANDS, this ___ day of ___, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
DDF9 ROCKWALL
A0099 A HANNA, TRACT 20-1,
ACRES 71.022, (PT OF 83.506 AC TR)
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225-2457
CONTACT:
E-MAIL:

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC
11700 KATY FREEWAY, SUITE 800
HOUSTON, TX 77079-1221
PHONE: 281-920-6322
CONTACT: SHANNON MUNDY, PLA.

CASE NUMBER: SP2021-002

JUSTIN ROAD
DISTRIBUTION
CENTER

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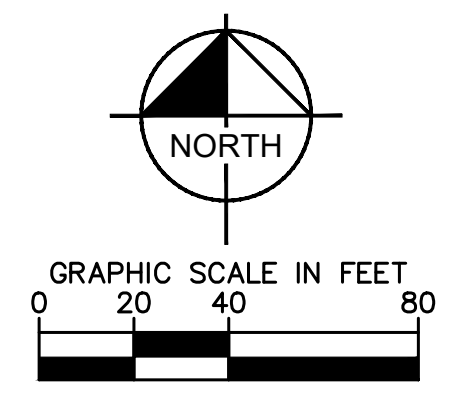
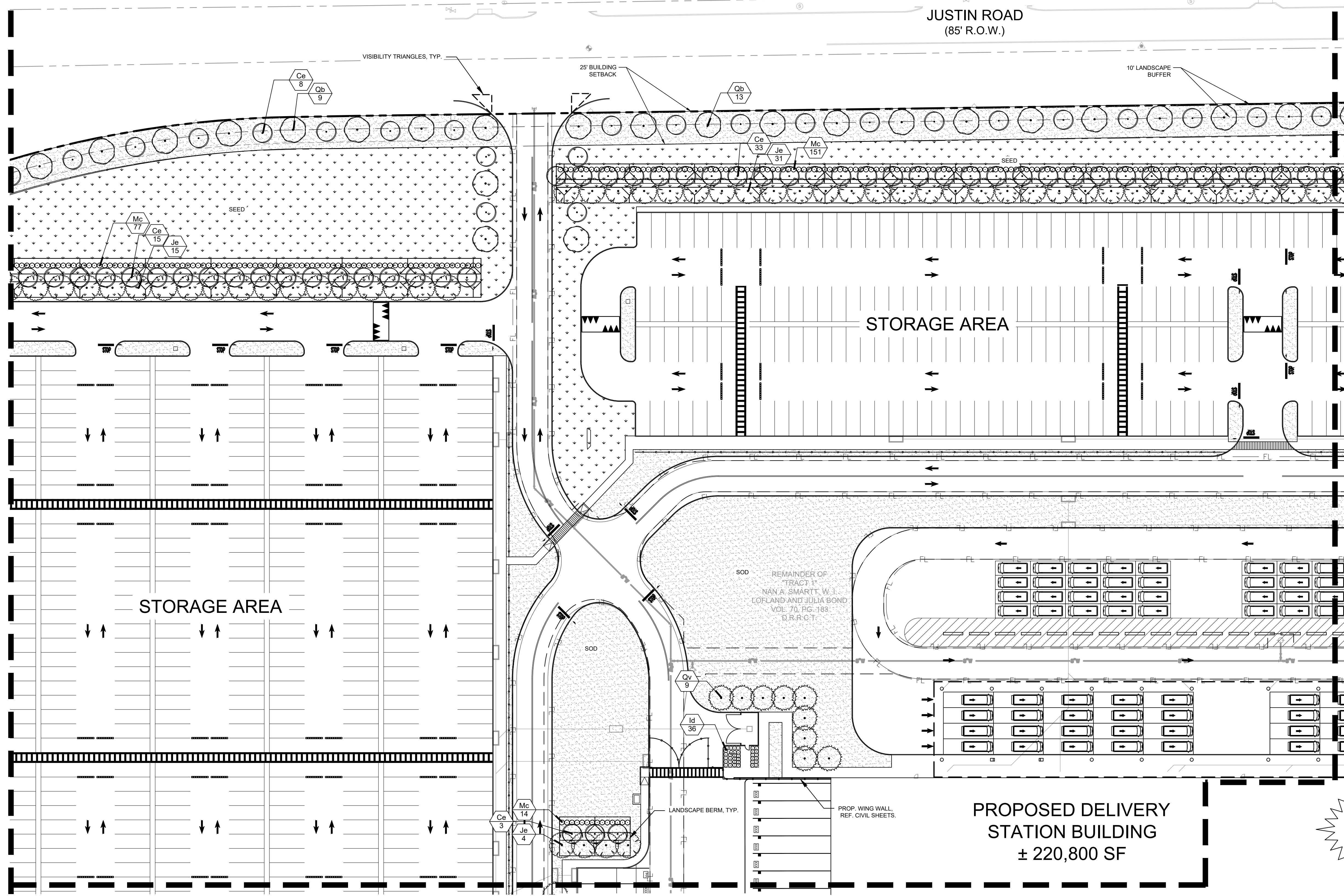
ROCKWALL
COUNTY TEXAS

KHA PROJECT	PROJ #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	3/05/2021	3/05/2021	AS SHOWN	AMC	AMC	SEM

ENLARGED LANDSCAPE PLAN (1 OF 6)

SHEET NUMBER **L1.1**

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MATCH SHEET: L1.3

MATCH SHEET: L1.1

MATCH SHEET: L1.5

PLANT LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	Ay	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		Id	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY		Lm	LIRIOPE MUSCARI	LILYTURF
	Ce	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK		In2	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY		NS	NATIVE AMERICAN SEED	DAM SLOPE MIX
	Id2	ILEX DECIDUA	POSSUMHAW		Mc	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		SEED	CYNODON DACTYLON	BERMUDA GRASS
	Je	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR		Ro	ROSMARINUS OFFICINALIS	ROSEMARY		SOD	CYNODON DACTYLON	BERMUDA GRASS
	Qb	QUERCUS BUCKLEYI	TEXAS RED OAK								
	Qv	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK								
	Td	TAXODIUM DISTICHUM	BALD CYPRESS								

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WITNESS OUR HANDS, this ___ day of ___, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
DDF9 ROCKWALL
A0099 A HANNA, TRACT 20-1,
ACRES 71.022, (PT OF 83.506 AC TR)
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225-2457
CONTACT:
E-MAIL:

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
11700 KATY FREEWAY, SUITE 800
HOUSTON, TX 77079-1221
PHONE: 281-920-6322
CONTACT: SHANNON MUNDY, PLA.

CASE NUMBER: SP2021-002

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3/05/2021

KHA PROJECT	PROJ #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		3/05/2021	AS SHOWN	AMC	AMC	SEM

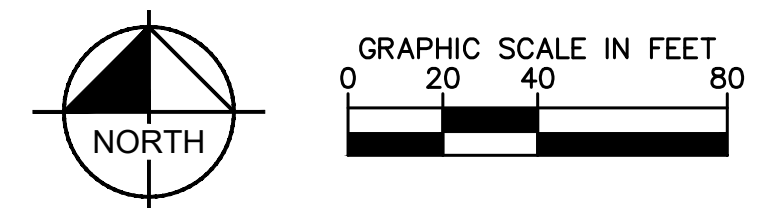
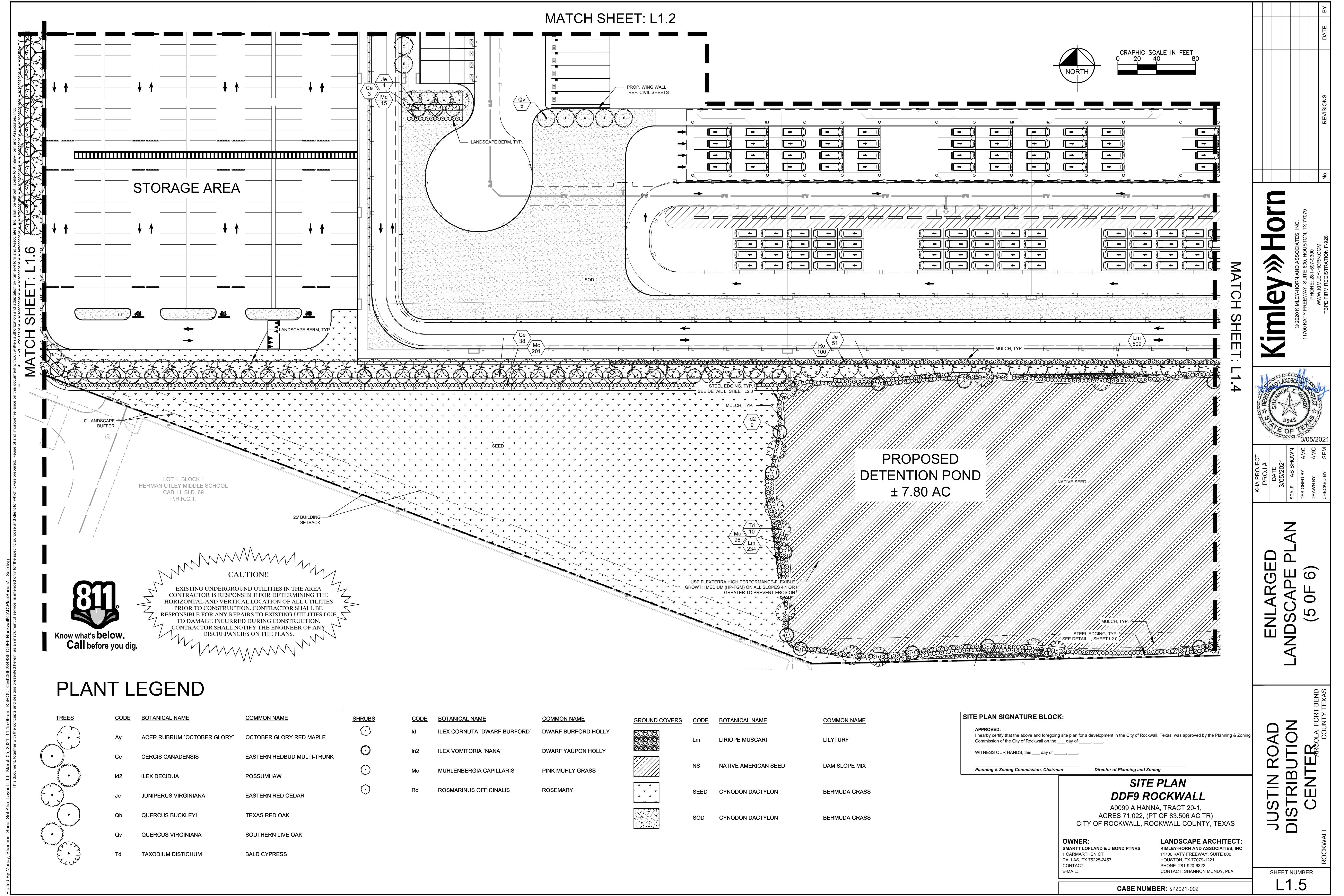
ENLARGED LANDSCAPE PLAN (2 OF 6)

JUSTIN ROAD DISTRIBUTION CENTER
ARCOLA, FORT BEND COUNTY TEXAS

SHEET NUMBER
L1.2

REVISIONS

No.	DATE	BY



MATCH SHEET: L1.6

MATCH SHEET: L1.2

MATCH SHEET: L1.4

STORAGE AREA

PROPOSED DETENTION POND
± 7.80 AC

CAUTION!!
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PLANT LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	Ay	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE		Id	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY		Lm	LIRIOPE MUSCARI	LILYTURF
	Ce	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK		In2	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY		NS	NATIVE AMERICAN SEED	DAM SLOPE MIX
	Id2	ILEX DECIDUA	POSSUMHAW		Mc	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		SEED	CYNODON DACTYLON	BERMUDA GRASS
	Je	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR		Ro	ROSMARINUS OFFICINALIS	ROSEMARY		SOD	CYNODON DACTYLON	BERMUDA GRASS
	Qb	QUERCUS BUCKLEYI	TEXAS RED OAK								
	Qv	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK								
	Td	TAXODIUM DISTICHUM	BALD CYPRESS								

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WITNESS OUR HANDS, this ___ day of ____, 2021.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN
DDF9 ROCKWALL
A0099 A HANNA, TRACT 20-1,
ACRES 71.022, (PT OF 83.506 AC TR)
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225-2457
CONTACT: 281-920-6322
E-MAIL: [redacted]

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
11700 KATY FREEWAY, SUITE 800
HOUSTON, TX 77079-1221
CONTACT: SHANNON MUNDY, PLA.

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KHA PROJECT	PROJ #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		3/05/2021	AS SHOWN	AMC	AMC	SEM

ENLARGED
LANDSCAPE PLAN
(5 OF 6)

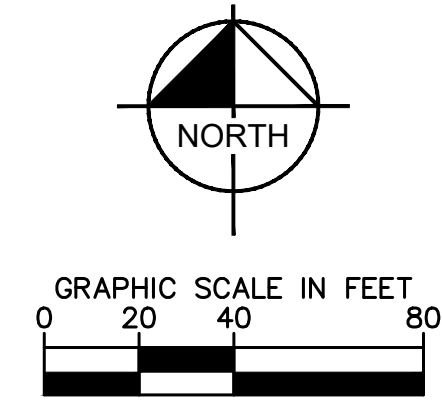
JUSTIN ROAD
DISTRIBUTION
CENTER
ARCOLA, FORT BEND COUNTY TEXAS

SHEET NUMBER
L1.5

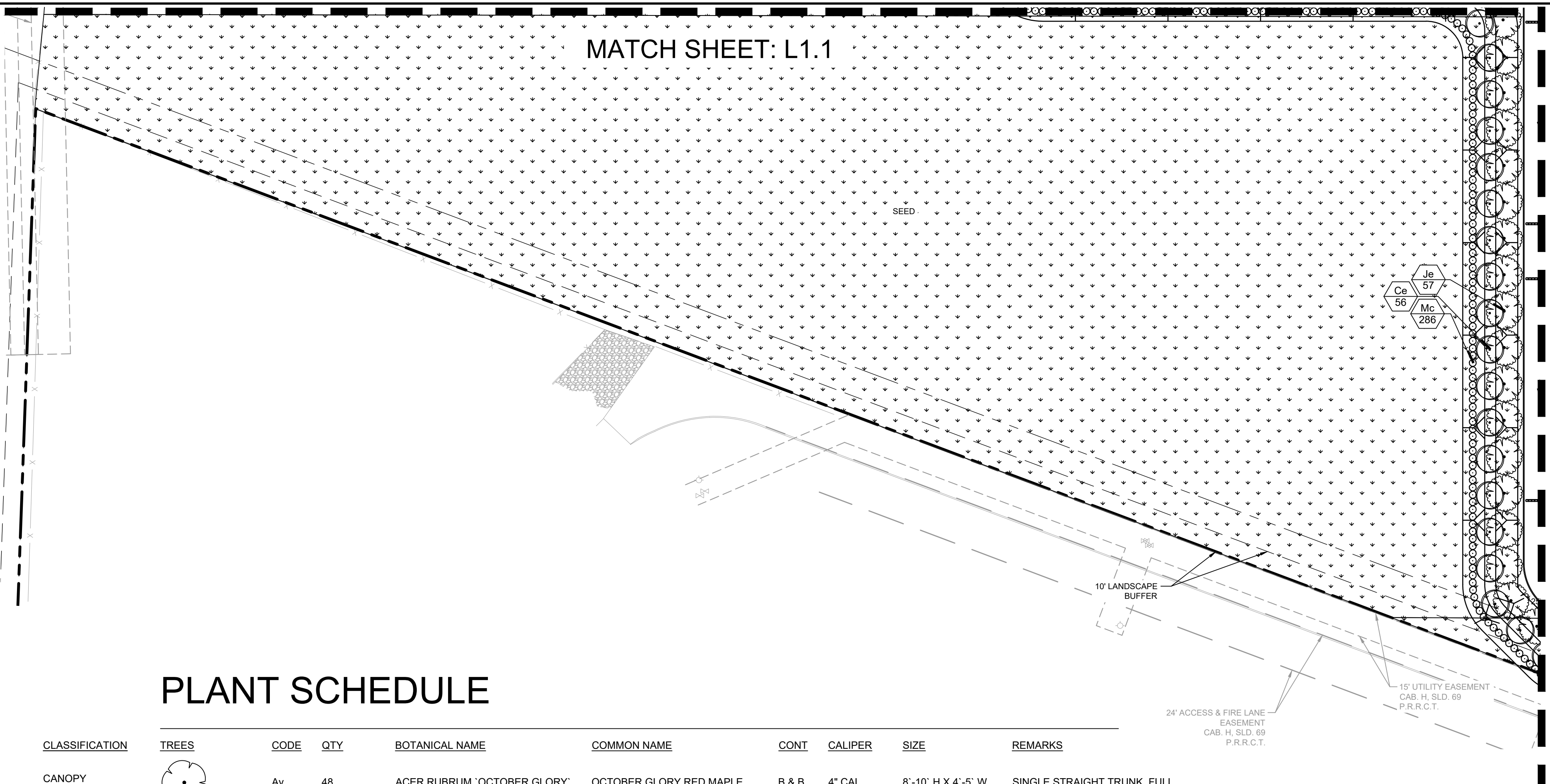
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No.	REVISIONS	DATE	BY

MATCH SHEET: L1.1



MATCH SHEET: L1.5



PLANT SCHEDULE

CLASSIFICATION	TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	REMARKS
CANOPY		Ay	48	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	B & B	4" CAL.	8'-10" H X 4'-5" W	SINGLE STRAIGHT TRUNK, FULL AND MATCHING
ACCENT		Ce	278	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	B & B	3" CAL.	4'-5" H X 4'-5" W	MULTI-STEM, 3 STEMS MINIMUM, FULL AND MATCHING
ACCENT		Id2	26	ILEX DECIDUA	POSSUMHAW	B & B	3" CAL.	4'-5" H X 4'-5" W	MULTI-STEM, 3 STEMS MINIMUM, FULL AND MATCHING
CANOPY		Je	252	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B & B	4" CAL.	8'-10" H X 4'-5" W	SINGLE STRAIGHT TRUNK, FULL AND MATCHING
CANOPY		Qb	87	QUERCUS BUCKLEYI	TEXAS RED OAK	B & B	4" CAL.	8'-10" H X 4'-5" W	SINGLE STRAIGHT TRUNK, FULL AND MATCHING
CANOPY		Qv	65	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B & B	4" CAL.	10'-12" H X 6'-8" W	SINGLE STRAIGHT TRUNK, FULL AND MATCHING
CANOPY		Td	34	TAXODIUM DISTICHUM	BALD CYPRESS	B & B	4" CAL.	8'-10" H X 4'-5" W	SINGLE STRAIGHT TRUNK, FULL AND MATCHING
	SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	REMARKS
		Id	194	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	5 GAL.	36" O.C.	24" H X 24" W	FULL AND MATCHING
		In2	475	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL.	24" O.C.	18" H X 18" W	FULL AND MATCHING.
		Mc	1,401	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	5 GAL.	24" O.C.	18" H X 18" W	FULL AND MATCHING
		Ro	850	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL.	36" O.C.	24" H X 24" W	FULL AND MATCHING
	GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
		Lm	1,958	LIRIOPE MUSCARI	LILYTURF	1 GAL.	8" H X 8" W	12" O.C.	TRIANGULAR SPACING, FULL AND MATCHING
		NS	286,641 SF	NATIVE AMERICAN SEED	DAM SLOPE MIX	SEED			HYDROSEED 20 LB PER ACRE; USE FLEXTERRA HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM (HP-FGM) ON ALL SLOPES 4:1 OR GREATER TO PREVENT EROSION
		SEED	672,115 SF	CYNODON DACTYLON	BERMUDA GRASS	SEED			HYDROSEED 1 LB PER 1,000 SF; USE FLEXTERRA HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM (HP-FGM) ON ALL SLOPES 4:1 OR GREATER TO PREVENT EROSION
		SOD	320,059 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD			SOLID SOD ROLLED TIGHT WITH SAND FILLED JOINTS. 100% WEED, DISEASE, AND PEST FREE.

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KHA PROJECT	PROJ.#	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		3/05/2021	AS SHOWN	AMC	AMC	SEM



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 Planning & Zoning Commission, Chairman Director of Planning and Zoning

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DDF9 ROCKWALL
 A0099 A HANNA, TRACT 20-1,
 ACRES 71.022, (PT OF 83.506 AC TR)
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OWNER:
 SMARTT LOFLAND & J BOND PTNRS
 1 CARMARTHEN CT
 DALLAS, TX 75225-2457
 CONTACT:
 E-MAIL:
LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC
 11700 KATY FREEWAY, SUITE 800
 HOUSTON, TX 77079-1221
 PHONE: 281-920-6322
 CONTACT: SHANNON MUNDY, PLA.

ENLARGED
 LANDSCAPE PLAN
 (6 OF 6)

JUSTIN ROAD
 DISTRIBUTION
 CENTER
 ROCKWALL, FORT BEND
 COUNTY TEXAS

SHEET NUMBER
L1.6

CASE NUMBER: SP2021-002

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION. MATERIAL DOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISHPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)
FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA

STAKING/GUYING/FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

2. PLANT MATERIALS INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE AMERICAN STANDARD NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. ALL PLANTING BED PIT BACKFILL AREAS TO BE PREPARED USING COMPOST, SHARP SCREENED SAND AND EXPANDED SHALE BY SOIL BUILDING SOLUTIONS, LIVING EARTH, OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (12" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 1" BELOW FINISHED GRADE OF ADJACENT CONCRETE MOW STRIP OR AS SHOWN ON GRADING PLAN. PLANTING BED PIT SOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 35% COMPOST, 10% EXPANDED SHALE, AND 5% SCREENED SHARP SAND. 98.5% OF THE PLANTING BED PIT SOIL PARTICLES WILL PASS THROUGH A 1/2 INCH SCREEN AND 99% OR MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. COLOR TO BE A MEDIUM BROWN WITH A WEIGHT OF 1900-2250 LBS. PER CUBIC YARD (DEPENDING ON THE MOISTURE CONTENT).
- 2. ALL SOD AND SEED AREAS TO BE PREPARED USING COMPOST AND SHARP SCREENED SAND, BY SOIL BUILDING SOLUTIONS, LIVING EARTH, OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (4" DEPTH MIN.). TOPSOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 40% COMPOST, AND 10% SHARP SCREENED SAND. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 6.0-6.5 WITH 25% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN AND 99% OR MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. (MIN) CONTAINER.
- 3. THE CONTRACTOR SHALL REESTABLISH ANY ADDITIONAL DISTURBED AREAS NOT SHOWN ON THE PLANS WITH A FULL COVERING OF SOD OR SEED. THE CONTRACTOR SHALL PROVIDE 4" DEPTH (MIN) PREPARED TOPSOIL IN ALL AREAS TO RECEIVE SEED OR SOD AT NO ADDITIONAL COST.
- 4. TREE PLANTING PITS SHALL BE BACKFILLED WITH COMPOST BY SOIL BUILDING SOLUTIONS, LIVING EARTH OR APPROVED EQUAL AND NATIVE SOIL. THE TOP 1/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 80% WEED FREE NATIVE SOIL AND 20% COMPOST. THE BOTTOM 2/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 100% WEED FREE NATIVE SOIL.
- 5. EXISTING SOIL USED IN PLANT BACKFILL AND TOPSOIL PREP SHALL BE REASONABLY FREE OF STONES, LIME, LUMPS OF CLAY, ROOTS AND OTHER FOREIGN MATTER. EXISTING SOIL SHALL HAVE A MINIMUM ORGANIC COMPOSITION OF 25% AND THE ACIDITY SHALL BE BETWEEN 5.0 AND 7.0 pH. CONTRACTOR SHALL SUBMIT A 1 GAL. MINIMUM SAMPLE OF THE EXISTING SOIL TO AN APPROVED TESTING FACILITY TO VERIFY COMPOSITION, ACIDITY AND ORGANIC CONTENT.

- 5. IF SOIL FAILS TO ACHIEVE THE AFOREMENTIONED pH AND ORGANIC COMPOSITION QUANTITIES, THE CONTRACTOR SHALL TILL AN ADEQUATE AMOUNT OF COMPOST IN TO THE EXISTING SOIL UNTIL IT MEETS THE REQUIREMENTS PRIOR TO COMBINING WITH OTHER SPECIFIED SOIL AMENDMENTS.
- 6. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE AND AMENDMENTS FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 7. WHERE LIME STABILIZED SOIL IS ENCOUNTERED, LAWN AREAS SHALL BE EXCAVATED TO A DEPTH OF 12", PLANT BEDS SHALL BE EXCAVATED TO A DEPTH OF 24", AND TREE PITS SHALL BE EXCAVATED TO A DEPTH OF 36", AND BACKFILLED WITH CLEAN NATIVE SOIL (E.5) AND APPROVED PLANTING SOIL (E.1-4).

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

ALL PLANTING BED TO BE TOP DRESSED WITH A MINIMUM OF 3" "RUSTIC CUT HARDWOOD MULCH" BY SOIL BUILDING SOLUTIONS OR LIVING EARTH (OR APPROVED EQUAL) WITH A pH RANGE OF 6.5-8.5 AND SHALL BE FREE OF MAN-MADE FOREIGN MATTER, LUMBER, TREATED MATERIALS, PALLETS, GRASS AND LEAVES. NO PARTICLE SIZE SHOULD EXCEED 3.5" IN LENGTH.

I. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH AMERICAN STANDARD FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- 4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MIN. OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MIN. OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES, HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB BASES.

J. CONTAINER GROWN STOCK

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS INSTALLED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED ROCK AND ROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF ROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY/GROWING SITE.
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
- 10. TREES SHALL BE SET WITH ROOT BALL CENTERED IN PLANTING PIT WITH ROOT FLARE 2" ABOVE ADJACENT SOIL ELEVATION. SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE TOP OF ROOT BALL SHALL BE EVEN WITH TOP OF PLANTING BED. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL FOR SOILNOC SRT ADVANCED MYCORRHIZAL INOCULUM (OR EQUAL) PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ONLY WITH MULCH, ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12". REMOVE AND DISPOSE ALL DEBRIS AND MIX TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING/ SEEDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, DEBRIS, HAVE SOIL PREPARED PER SECTION E, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 3. SOIL PREPARATION: ALL SOIL TO BE PREPARED PER SECTION E.

Q. SODDING:

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. THE SOD SHALL BE CERTIFIED TO MEET AMERICAN STANDARD FOR NURSERY STOCK SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE/ MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- D. CONTRACTOR SHALL REFERENCE PLANTING SCHEDULE FOR SEEDING VARIETY AND RATES.
- E. IF SEED INSTALLATION FALLS BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL INSTALL EITHER SOD OR A COOL SEASON VARIETY SEED MIX, SUCH AS WINTER RYE. IF A COOL SEASON VARIETY MIX IS INSTALLED BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL RESEED THE AREA WITH THE ORIGINAL SPECIFIED SEED MIX PER THE PLANS AND SPECIFICATIONS BETWEEN MARCH 15TH AND SEPTEMBER 15TH.
- 1. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- 2. LAWN MAINTENANCE:
 - A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRAIDING IF NECESSARY).
 - B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
 - C. CONTRACTOR SHALL REESTABLISH 95% (MIN) COVERAGE FOR ALL DISTURBED AREAS OF VEGETATION WITHIN 60 DAYS OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL PROVIDE SEED AND/OR SOD THAT MATCHES THE ADJACENT LAWN AREA.
- Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL 1 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- 2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- 3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- 4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

NO.	REVISIONS	DATE	BY

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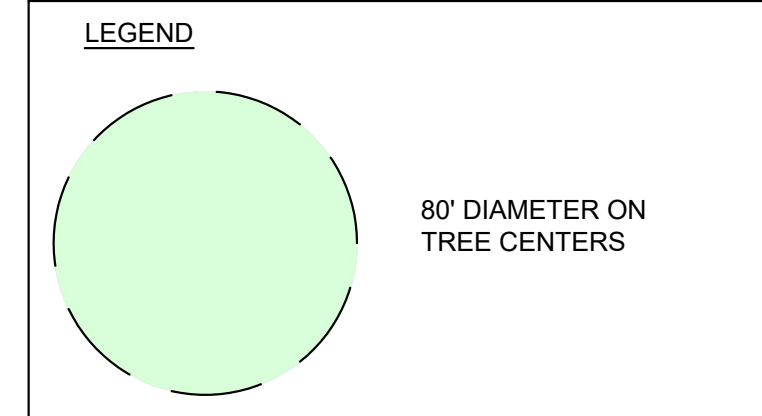
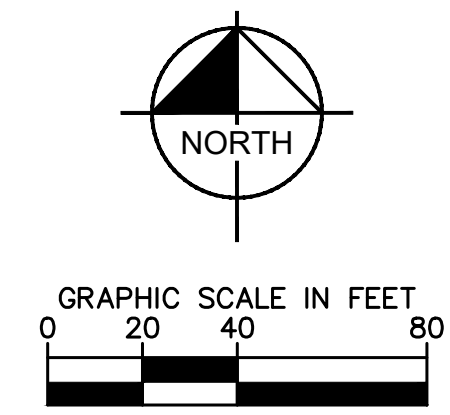
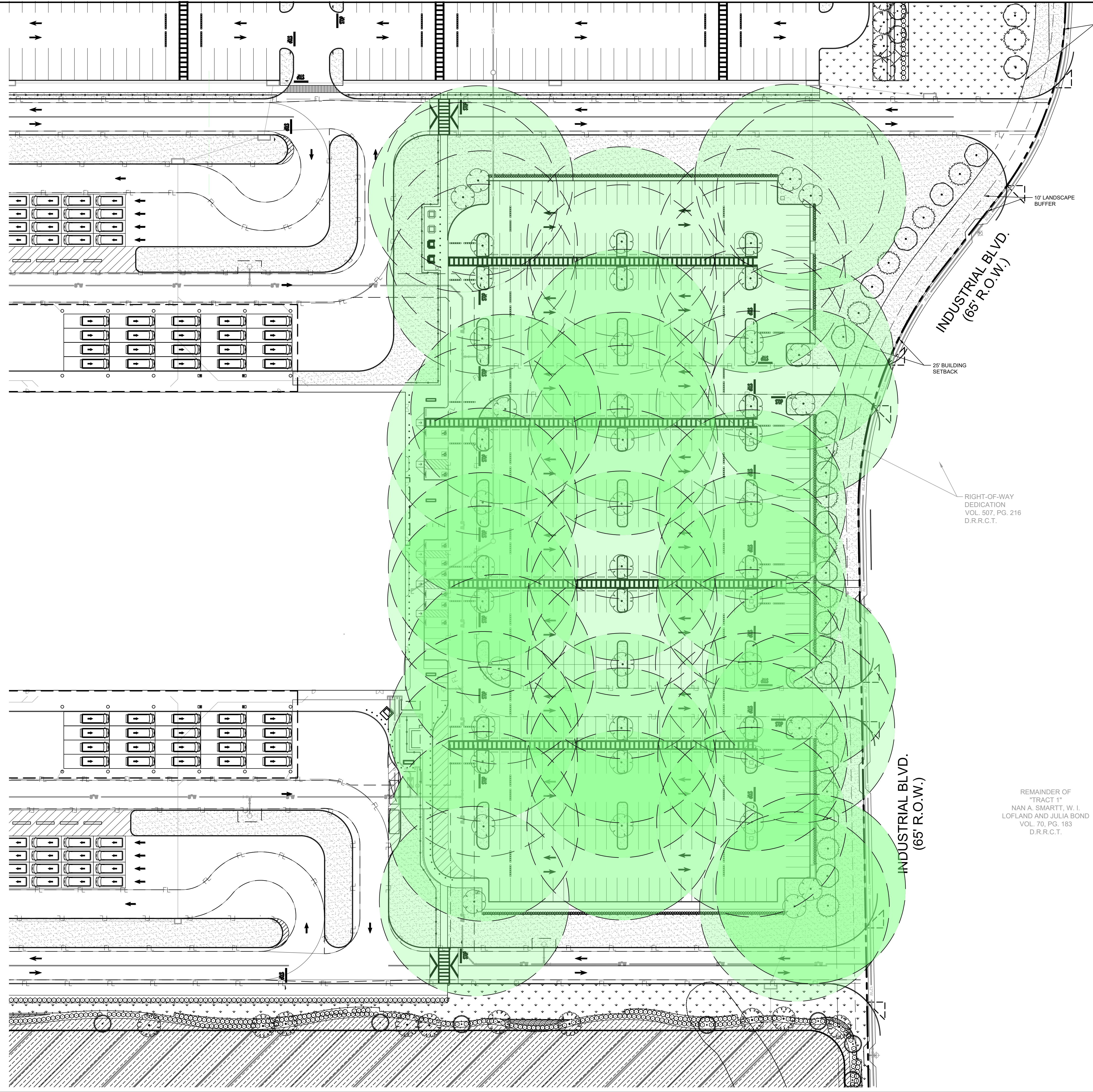


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		3/05/2021	AS SHOWN	AMC	AMC	SEM

LANDSCAPE DISTRIBUTION SPECIFICATIONS

JUSTIN ROAD DISTRIBUTION CENTER
ARCOLA, FORT BEND COUNTY TEXAS
ROCKWALL
SHEET NUMBER L3.0

Plotted By: Chaparro, Angelica. Sheet Set: KHA. Layout: L1.3. March 02, 2021, 11:52:43am. K:\HOU_Civil\089284835-DDF9_Rockwall\CAD\PlanSheets\L-Parking Exhibit.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



INDUSTRIAL BLVD.
(65' R.O.W.)

25' BUILDING SETBACK

RIGHT-OF-WAY DEDICATION
VOL. 507, PG. 216
D.R.R.C.T.

INDUSTRIAL BLVD.
(65' R.O.W.)

REMAINDER OF "TRACT 1"
NAN A. SMARTT, W. I. LOFLAND AND JULIA BOND
VOL. 70, PG. 183
D.R.R.C.T.



Know what's below.
Call before you dig.

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SITE PLAN SIGNATURE BLOCK:

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2021.

WITNESS OUR HANDS, this ___ day of ___, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
DDF9 ROCKWALL
A0099 A HANNA, TRACT 20-1,
ACRES 71.022, (PT OF 83.506 AC TR)
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225-2457
CONTACT:
E-MAIL:

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
11700 KATY FREEWAY, SUITE 800
HOUSTON, TX 77079-1221
PHONE: 281-920-6322
CONTACT: SHANNON MUNDY, PLA.

CASE NUMBER: SP2021-002

No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079
 PHONE: 281-697-9300
 WWW.KIMLEY-HORN.COM
 TBE FIRM REGISTRATION F-928

FOR REVIEW ONLY

3/02/2021

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
068910600	3/02/2021	AS SHOWN	AMC	AMC	SEM

LANDSCAPE PARKING EXHIBIT

JUSTIN ROAD DISTRIBUTION CENTER

TEXAS

ROCKWALL

SHEET NUMBER
EX1.0



Specifications
 EPA: 1.01 ft² (0.09 m²)
 Length: 40" (101.6 cm)
 Width: 15" (38.1 cm)
 Height 1: 2.54" (64 mm)
 Height 2: 3.5" (88.9 mm)
 Weight: 36lbs

D-Series Size 2 LED Area Luminaire

Casting Number: _____
 Notes: _____
 Type: _____

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.
 The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Mounting	Voltage	Mounting	Shipped In		
DSK2 LED	Forward optics	30K 3000K	T15	Type 1 Short	T3M	Type 1 Very Short	WXL1	
		40K 4000K	T25	Type 1 Short	T3M	Type 1 Medium	WXL2	
		50K 5000K	T35	Type 1 Short	T3M	Type 1 Medium	WXL3	
	Retained optics	P1	30K 3000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL1
		P2	40K 4000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL2
		P3	50K 5000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL3
	Retained optics	P4	30K 3000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL1
		P5	40K 4000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL2
		P6	50K 5000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL3
		P7	30K 3000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL1
		P8	40K 4000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL2
		P9	50K 5000K	PRN	Type 1 Short	T3M	Type 1 Medium	WXL3

Option	Shipped In	Shipped Separately
DLR1	Up-light 300 lumens	DLR1
DLR2	Up-light 700 lumens	DLR2
DLR3	Up-light 1000 lumens	DLR3
DLR4	Up-light 1500 lumens	DLR4
DLR5	Up-light 2000 lumens	DLR5
DLR6	Up-light 3000 lumens	DLR6
DLR7	Up-light 4000 lumens	DLR7
DLR8	Up-light 5000 lumens	DLR8
DLR9	Up-light 6000 lumens	DLR9
DLR10	Up-light 7000 lumens	DLR10
DLR11	Up-light 8000 lumens	DLR11
DLR12	Up-light 9000 lumens	DLR12
DLR13	Up-light 10000 lumens	DLR13
DLR14	Up-light 11000 lumens	DLR14
DLR15	Up-light 12000 lumens	DLR15
DLR16	Up-light 13000 lumens	DLR16
DLR17	Up-light 14000 lumens	DLR17
DLR18	Up-light 15000 lumens	DLR18
DLR19	Up-light 16000 lumens	DLR19
DLR20	Up-light 17000 lumens	DLR20
DLR21	Up-light 18000 lumens	DLR21
DLR22	Up-light 19000 lumens	DLR22
DLR23	Up-light 20000 lumens	DLR23
DLR24	Up-light 21000 lumens	DLR24
DLR25	Up-light 22000 lumens	DLR25
DLR26	Up-light 23000 lumens	DLR26
DLR27	Up-light 24000 lumens	DLR27
DLR28	Up-light 25000 lumens	DLR28
DLR29	Up-light 26000 lumens	DLR29
DLR30	Up-light 27000 lumens	DLR30
DLR31	Up-light 28000 lumens	DLR31
DLR32	Up-light 29000 lumens	DLR32
DLR33	Up-light 30000 lumens	DLR33
DLR34	Up-light 31000 lumens	DLR34
DLR35	Up-light 32000 lumens	DLR35
DLR36	Up-light 33000 lumens	DLR36
DLR37	Up-light 34000 lumens	DLR37
DLR38	Up-light 35000 lumens	DLR38
DLR39	Up-light 36000 lumens	DLR39
DLR40	Up-light 37000 lumens	DLR40
DLR41	Up-light 38000 lumens	DLR41
DLR42	Up-light 39000 lumens	DLR42
DLR43	Up-light 40000 lumens	DLR43
DLR44	Up-light 41000 lumens	DLR44
DLR45	Up-light 42000 lumens	DLR45
DLR46	Up-light 43000 lumens	DLR46
DLR47	Up-light 44000 lumens	DLR47
DLR48	Up-light 45000 lumens	DLR48
DLR49	Up-light 46000 lumens	DLR49
DLR50	Up-light 47000 lumens	DLR50
DLR51	Up-light 48000 lumens	DLR51
DLR52	Up-light 49000 lumens	DLR52
DLR53	Up-light 50000 lumens	DLR53
DLR54	Up-light 51000 lumens	DLR54
DLR55	Up-light 52000 lumens	DLR55
DLR56	Up-light 53000 lumens	DLR56
DLR57	Up-light 54000 lumens	DLR57
DLR58	Up-light 55000 lumens	DLR58
DLR59	Up-light 56000 lumens	DLR59
DLR60	Up-light 57000 lumens	DLR60
DLR61	Up-light 58000 lumens	DLR61
DLR62	Up-light 59000 lumens	DLR62
DLR63	Up-light 60000 lumens	DLR63
DLR64	Up-light 61000 lumens	DLR64
DLR65	Up-light 62000 lumens	DLR65
DLR66	Up-light 63000 lumens	DLR66
DLR67	Up-light 64000 lumens	DLR67
DLR68	Up-light 65000 lumens	DLR68
DLR69	Up-light 66000 lumens	DLR69
DLR70	Up-light 67000 lumens	DLR70
DLR71	Up-light 68000 lumens	DLR71
DLR72	Up-light 69000 lumens	DLR72
DLR73	Up-light 70000 lumens	DLR73
DLR74	Up-light 71000 lumens	DLR74
DLR75	Up-light 72000 lumens	DLR75
DLR76	Up-light 73000 lumens	DLR76
DLR77	Up-light 74000 lumens	DLR77
DLR78	Up-light 75000 lumens	DLR78
DLR79	Up-light 76000 lumens	DLR79
DLR80	Up-light 77000 lumens	DLR80
DLR81	Up-light 78000 lumens	DLR81
DLR82	Up-light 79000 lumens	DLR82
DLR83	Up-light 80000 lumens	DLR83
DLR84	Up-light 81000 lumens	DLR84
DLR85	Up-light 82000 lumens	DLR85
DLR86	Up-light 83000 lumens	DLR86
DLR87	Up-light 84000 lumens	DLR87
DLR88	Up-light 85000 lumens	DLR88
DLR89	Up-light 86000 lumens	DLR89
DLR90	Up-light 87000 lumens	DLR90
DLR91	Up-light 88000 lumens	DLR91
DLR92	Up-light 89000 lumens	DLR92
DLR93	Up-light 90000 lumens	DLR93
DLR94	Up-light 91000 lumens	DLR94
DLR95	Up-light 92000 lumens	DLR95
DLR96	Up-light 93000 lumens	DLR96
DLR97	Up-light 94000 lumens	DLR97
DLR98	Up-light 95000 lumens	DLR98
DLR99	Up-light 96000 lumens	DLR99
DLR100	Up-light 97000 lumens	DLR100
DLR101	Up-light 98000 lumens	DLR101
DLR102	Up-light 99000 lumens	DLR102
DLR103	Up-light 100000 lumens	DLR103

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com DSK2-LED Rev. 11/16/20
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4 Spec Light A-E
 N.T.S.
 NOTE: REFERENCE LIGHTING SCHEDULE ON SHEET E0.12



Specifications
 Diameter: 19"
 Height: 3.75"
 Weight: 18 lbs
 (max. with no options)

VCPG LED Parking Garage

Casting Number: _____
 Notes: _____
 Type: _____

Introduction
 The all new VCPG LED (Visually Comfortable Parking Garage) luminaire is designed to bring glare control, optical performance and energy savings into one package. The recessed lens design of VCPG LED minimizes high angle glare, while its precision-molded acrylic lens eliminates LED pollution and delivers the required minimums, verticals and uniformity. The dedicated up-light module option reduces the contrast between the luminaire and the ceiling creating a more visually comfortable environment.
 The VCPG LED delivers up to 87% in energy savings when replacing 175W metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the VCPG LED luminaire provides significant maintenance savings over traditional luminaires.

Ordering Information EXAMPLE: VCPG LED V4 P4 40K 70CRI TSM MVOLT SRM DNAXD

Series	LED Light Engine	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Shipped In
VCPG LED	V4	30K 3000K	90CR	TSM	Type 1, medium	WXL1
		40K 4000K	90CR	TSM	Type 1, medium	WXL2
	V5	30K 3000K	90CR	TSM	Type 1, wide	WXL3
		40K 4000K	90CR	TSM	Type 1, wide	WXL4
	V6	30K 3000K	90CR	TSM	Type 1, very	WXL5
		40K 4000K	90CR	TSM	Type 1, very	WXL6

Option	Shipped In	Shipped Separately
DLR1	Up-light 300 lumens	DLR1
DLR2	Up-light 700 lumens	DLR2
DLR3	Up-light 1000 lumens	DLR3
DLR4	Up-light 1500 lumens	DLR4
DLR5	Up-light 2000 lumens	DLR5
DLR6	Up-light 3000 lumens	DLR6
DLR7	Up-light 4000 lumens	DLR7
DLR8	Up-light 5000 lumens	DLR8
DLR9	Up-light 6000 lumens	DLR9
DLR10	Up-light 7000 lumens	DLR10
DLR11	Up-light 8000 lumens	DLR11
DLR12	Up-light 9000 lumens	DLR12
DLR13	Up-light 10000 lumens	DLR13
DLR14	Up-light 11000 lumens	DLR14
DLR15	Up-light 12000 lumens	DLR15
DLR16	Up-light 13000 lumens	DLR16
DLR17	Up-light 14000 lumens	DLR17
DLR18	Up-light 15000 lumens	DLR18
DLR19	Up-light 16000 lumens	DLR19
DLR20	Up-light 17000 lumens	DLR20
DLR21	Up-light 18000 lumens	DLR21
DLR22	Up-light 19000 lumens	DLR22
DLR23	Up-light 20000 lumens	DLR23
DLR24	Up-light 21000 lumens	DLR24
DLR25	Up-light 22000 lumens	DLR25
DLR26	Up-light 23000 lumens	DLR26
DLR27	Up-light 24000 lumens	DLR27
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DLR44	Up-light 41000 lumens	DLR44
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DLR46	Up-light 43000 lumens	DLR46
DLR47	Up-light 44000 lumens	DLR47
DLR48	Up-light 45000 lumens	DLR48
DLR49	Up-light 46000 lumens	DLR49
DLR50	Up-light 47000 lumens	DLR50
DLR51	Up-light 48000 lumens	DLR51
DLR52	Up-light 49000 lumens	DLR52
DLR53	Up-light 50000 lumens	DLR53
DLR54	Up-light 51000 lumens	DLR54
DLR55	Up-light 52000 lumens	DLR55
DLR56	Up-light 53000 lumens	DLR56
DLR57	Up-light 54000 lumens	DLR57
DLR58	Up-light 55000 lumens	DLR58
DLR59	Up-light 56000 lumens	DLR59
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DLR63	Up-light 60000 lumens	DLR63
DLR64	Up-light 61000 lumens	DLR64
DLR65	Up-light 62000 lumens	DLR65
DLR66	Up-light 63000 lumens	DLR66
DLR67	Up-light 64000 lumens	DLR67
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DLR71	Up-light 68000 lumens	DLR71
DLR72	Up-light 69000 lumens	DLR72
DLR73	Up-light 70000 lumens	DLR73
DLR74	Up-light 71000 lumens	DLR74
DLR75	Up-light 72000 lumens	DLR75
DLR76	Up-light 73000 lumens	DLR76
DLR77	Up-light 74000 lumens	DLR77
DLR78	Up-light 75000 lumens	DLR78
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DLR81	Up-light 78000 lumens	DLR81
DLR82	Up-light 79000 lumens	DLR82
DLR83	Up-light 80000 lumens	DLR83
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DLR85	Up-light 82000 lumens	DLR85
DLR86	Up-light 83000 lumens	DLR86
DLR87	Up-light 84000 lumens	DLR87
DLR88	Up-light 85000 lumens	DLR88
DLR89	Up-light 86000 lumens	DLR89
DLR90	Up-light 87000 lumens	DLR90
DLR91	Up-light 88000 lumens	DLR91
DLR92	Up-light 89000 lumens	DLR92
DLR93	Up-light 90000 lumens	DLR93
DLR94	Up-light 91000 lumens	DLR94
DLR95	Up-light 92000 lumens	DLR95
DLR96	Up-light 93000 lumens	DLR96
DLR97	Up-light 94000 lumens	DLR97
DLR98	Up-light 95000 lumens	DLR98
DLR99	Up-light 96000 lumens	DLR99
DLR100	Up-light 97000 lumens	DLR100
DLR101	Up-light 98000 lumens	DLR101
DLR102	Up-light 99000 lumens	DLR102
DLR103	Up-light 100000 lumens	DLR103

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com VCPG-LED Rev. 01/20/20
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3 Site Light F1
 N.T.S.



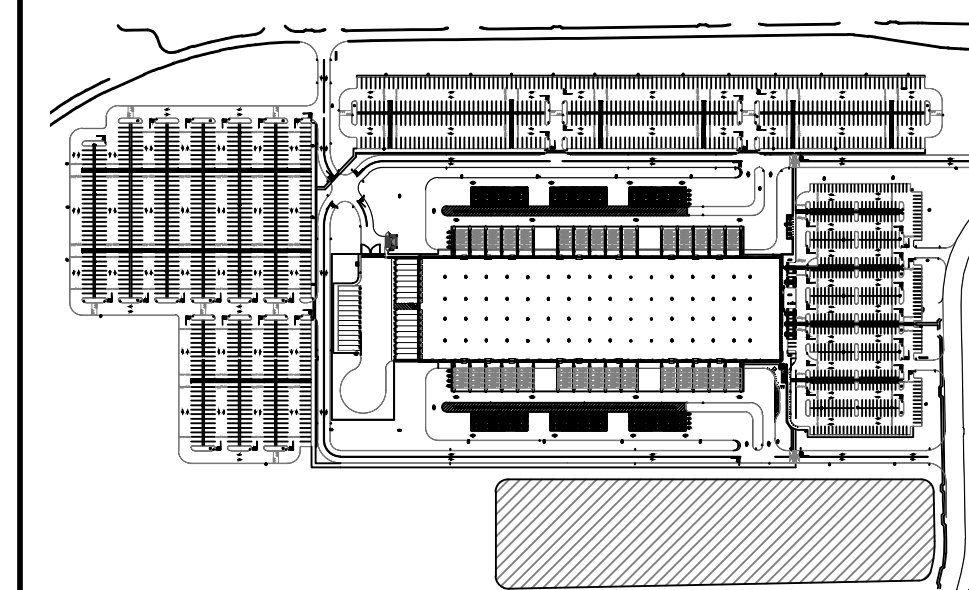
Specifications
 EPA: 1.01 ft² (0.09 m²)
 Length: 33" (83.8 cm)
 Width: 13" (33.0 cm)
 Height H1: 7.12" (180 mm)
 Height H2: 3.12" (79 mm)
 Weight: 27 lbs (12 kg)

D-Series Size 1 LED Area Luminaire

Casting Number: _____
 Notes: _____
 Type: _____

Introduction
 The modern styling of the D-Series is striking yet

KEY PLAN



PARKING DATA

SPACE TYPE	Count
STANDARD	471
HANDICAPPED	9
TOTAL SPACES	480

DELIVERY VAN STORAGE

SPACE TYPE	Count
VAN LOADING	120
VAN STAGING	120
VAN PARKING	1118
TRAILER TRUCK	30
TOTAL SPACES	1388

GENERAL NOTES

- BUILDING DIMENSIONS TAKEN FROM INSIDE FACE OF CONCRETE PANEL.
- DRIVE AISLE DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, OR BACK OF PARKING STALL TO BACK OF PARKING STALL.
- SITE PLAN LAYOUT TO GRAPHICALLY ILLUSTRATE INTENT ONLY. DEVELOPERS AND DESIGN TEAMS ARE RESPONSIBLE FOR RECONCILING WITH SITE SPECIFIC CONSTRAINTS AND JURISDICTIONAL REQUIREMENTS.
- ALL SIGNAGE WILL BE UNDER A SEPARATE PERMIT.

KEY NOTES

- SCREEN WALL REF: 9/A1.03
- 6'-0" HIGH PEDESTRIAN FENCE REF: 4/A1.02
- 8'-0" HIGH TRUCK YARD PERIMETER SECURITY FENCE REF: 6/A1.02
- PYLON SIGN REF: 5/A1.02
- MONUMENT SIGN REF: 2/A1.02
- SITE LIGHTING REF: PHOTOMETRICS

Issue Date: **03/02/21**

Revisions	Date	Description	By
△			
△			
△			
△			
△			
△			

**DELIVERY STATION: DDF9
SEC OF JUSTIN RD & INDUSTRIAL BLVD.
ROCKWALL, TX 77573**

**PRELIMINARY
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY**

Job Number: 200162
Drawn By: NG
App'd By: SY
Sheet Title:

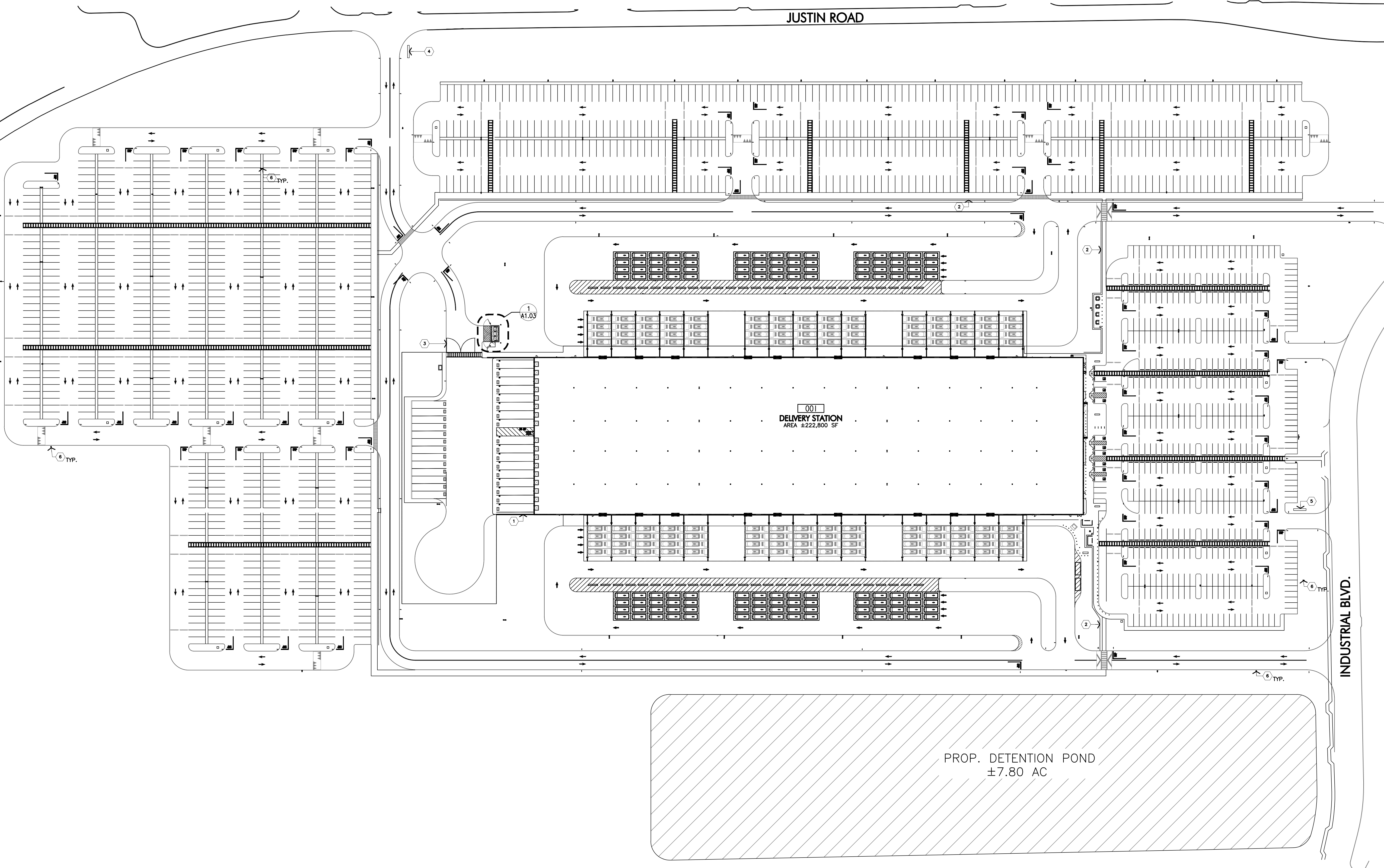
Overall Site Plan
Sheet Number:
A1.01

SITE PLAN SIGNATURE BLOCK:
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.
WITNESS OUR HANDS, this ____ day of _____, _____.

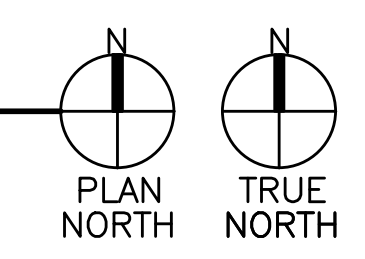
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER: SP2021-002

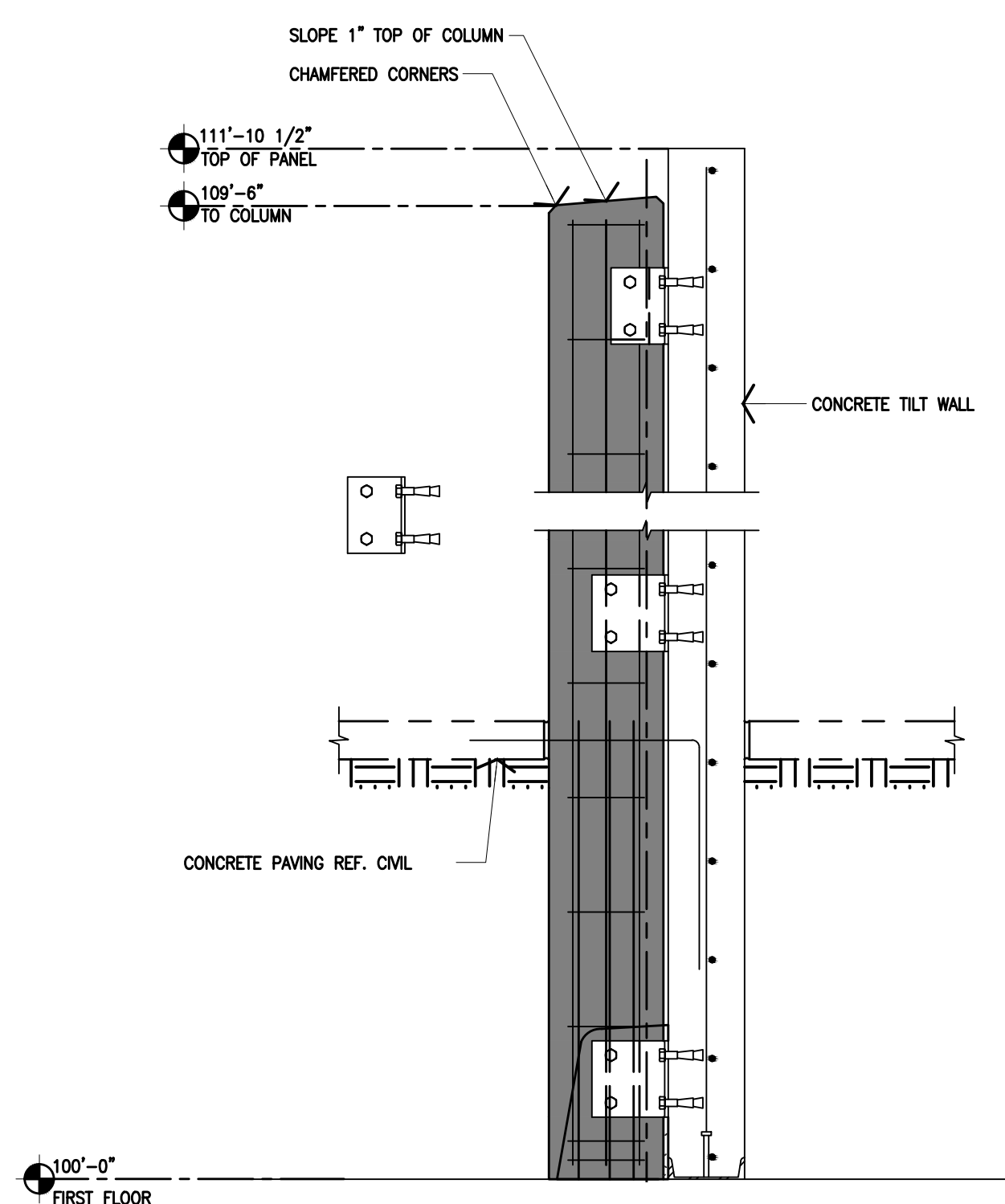


1 Overall Site Plan
SCALE 1" = 70'-0"

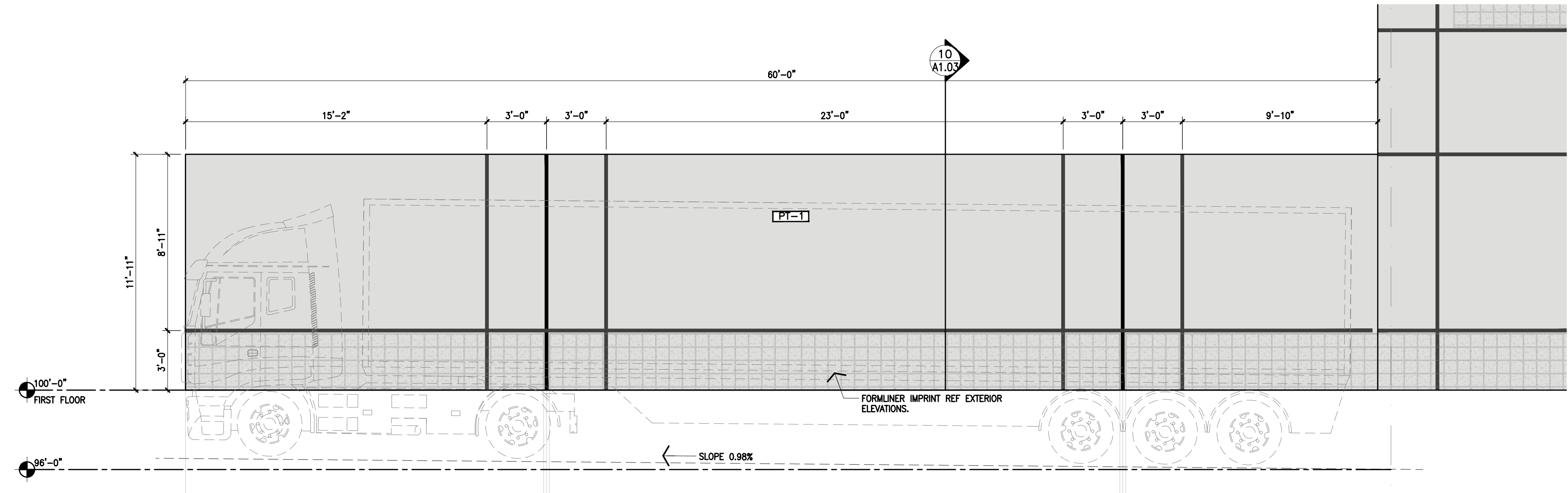


Issue Date	03/02/21
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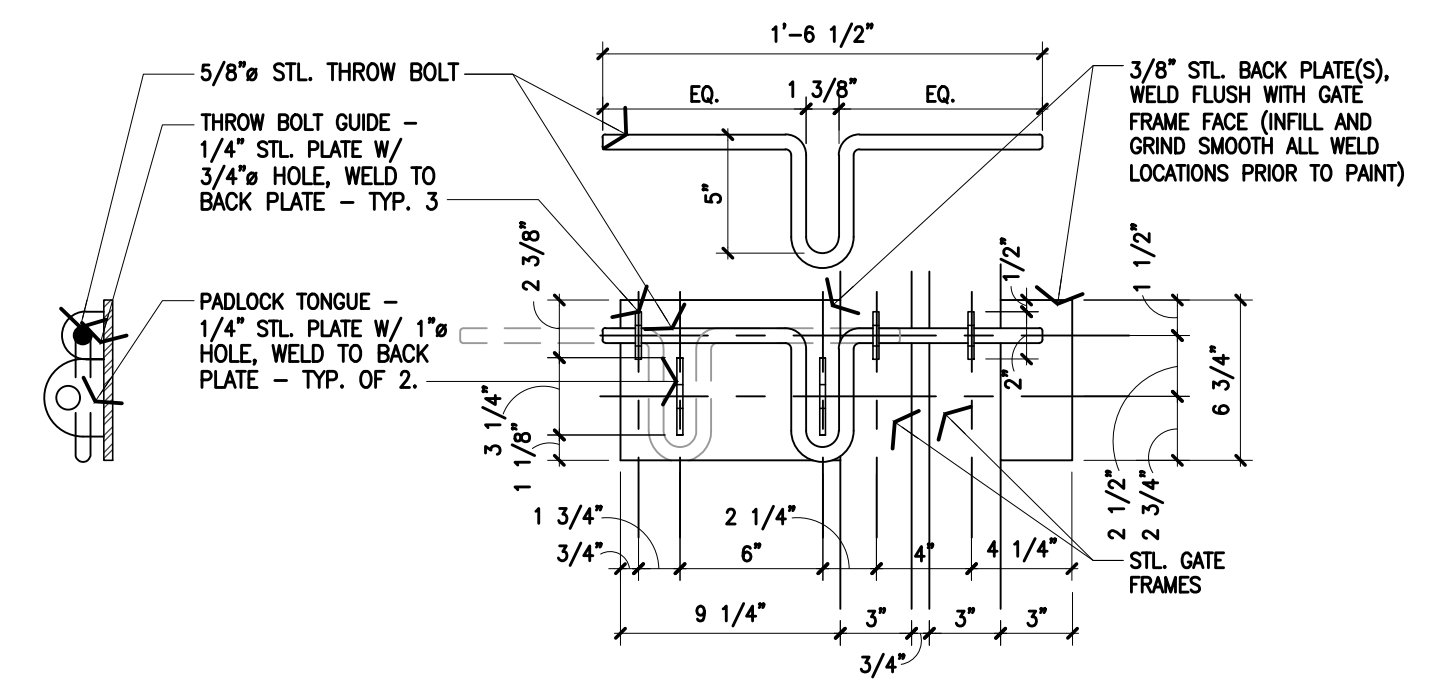
Revisions	Date	Description	By



10 Screenwall Section
Scale 3/4" = 1'-0"

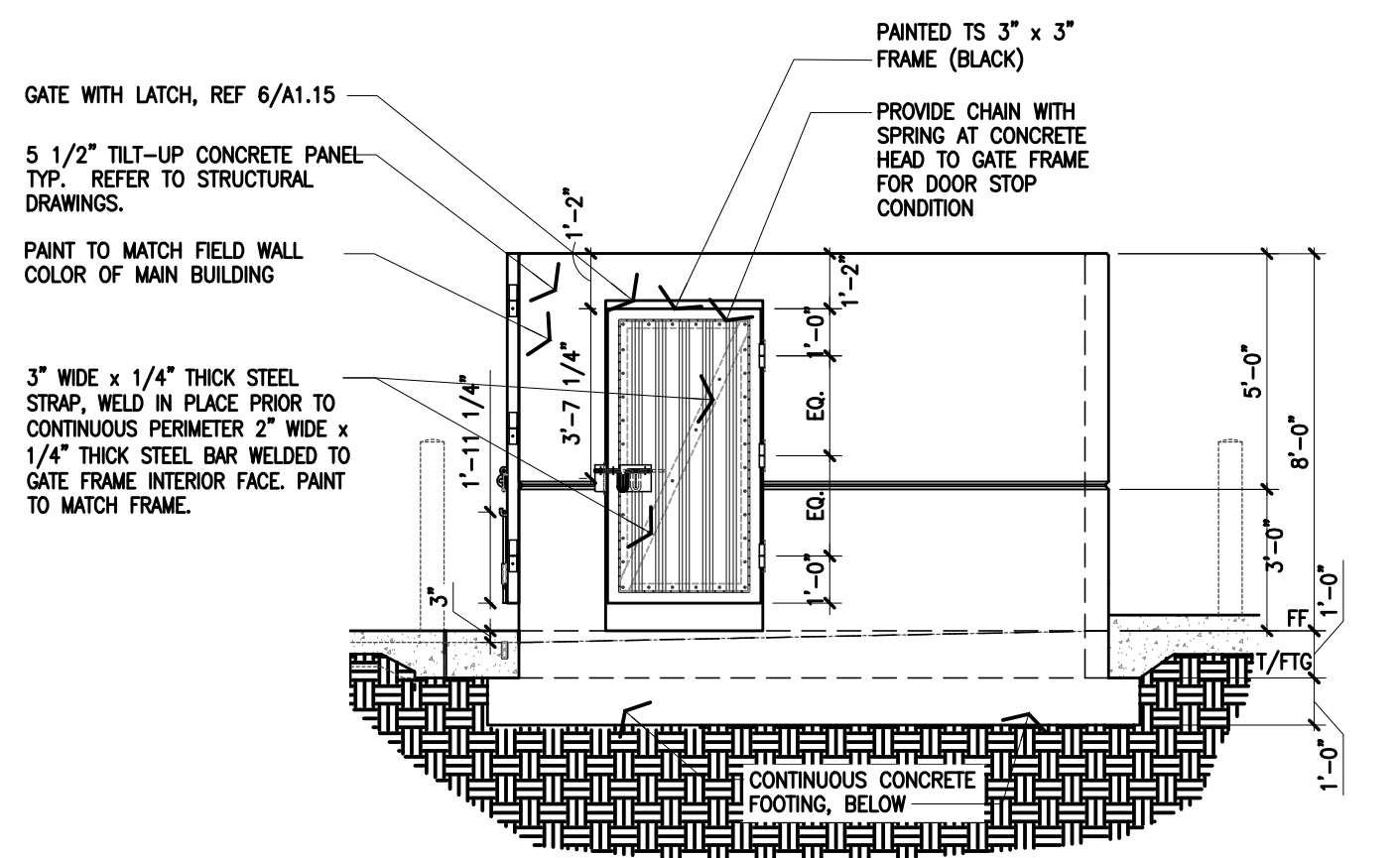


9 East Enlarged Elevation
Scale 3/8" = 1'-0"

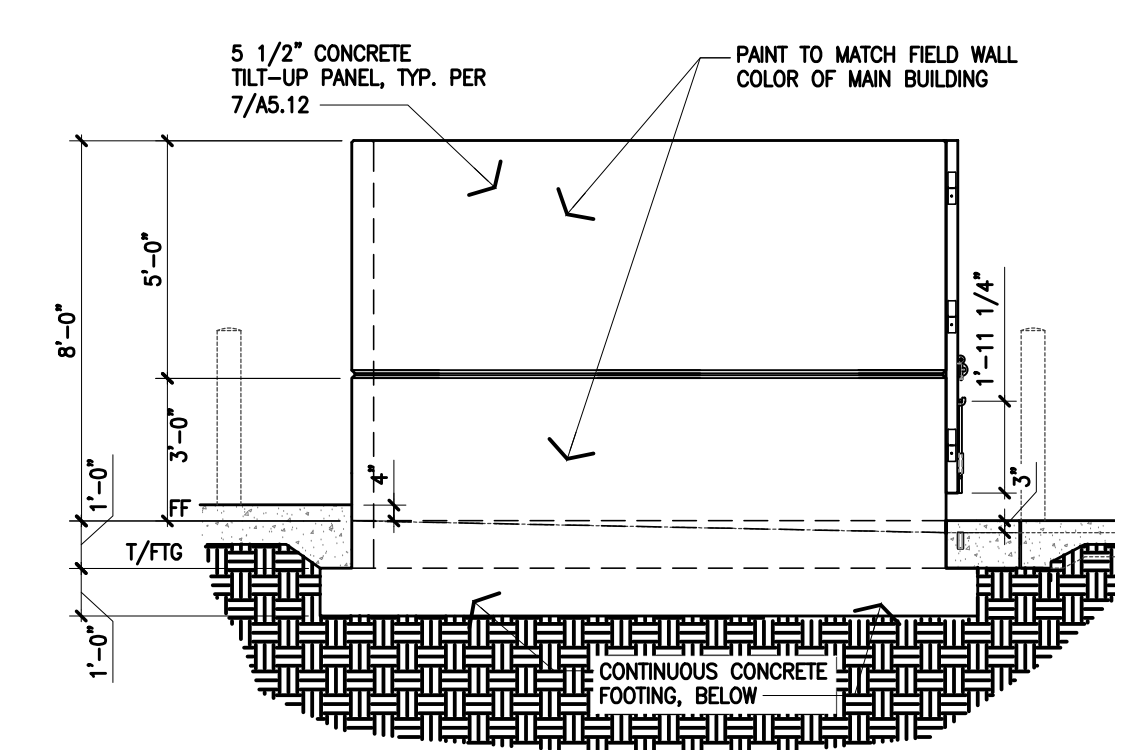


8 Enclosure Gate Slide Bolt Detail
Scale: 1-1/2" = 1'-0"

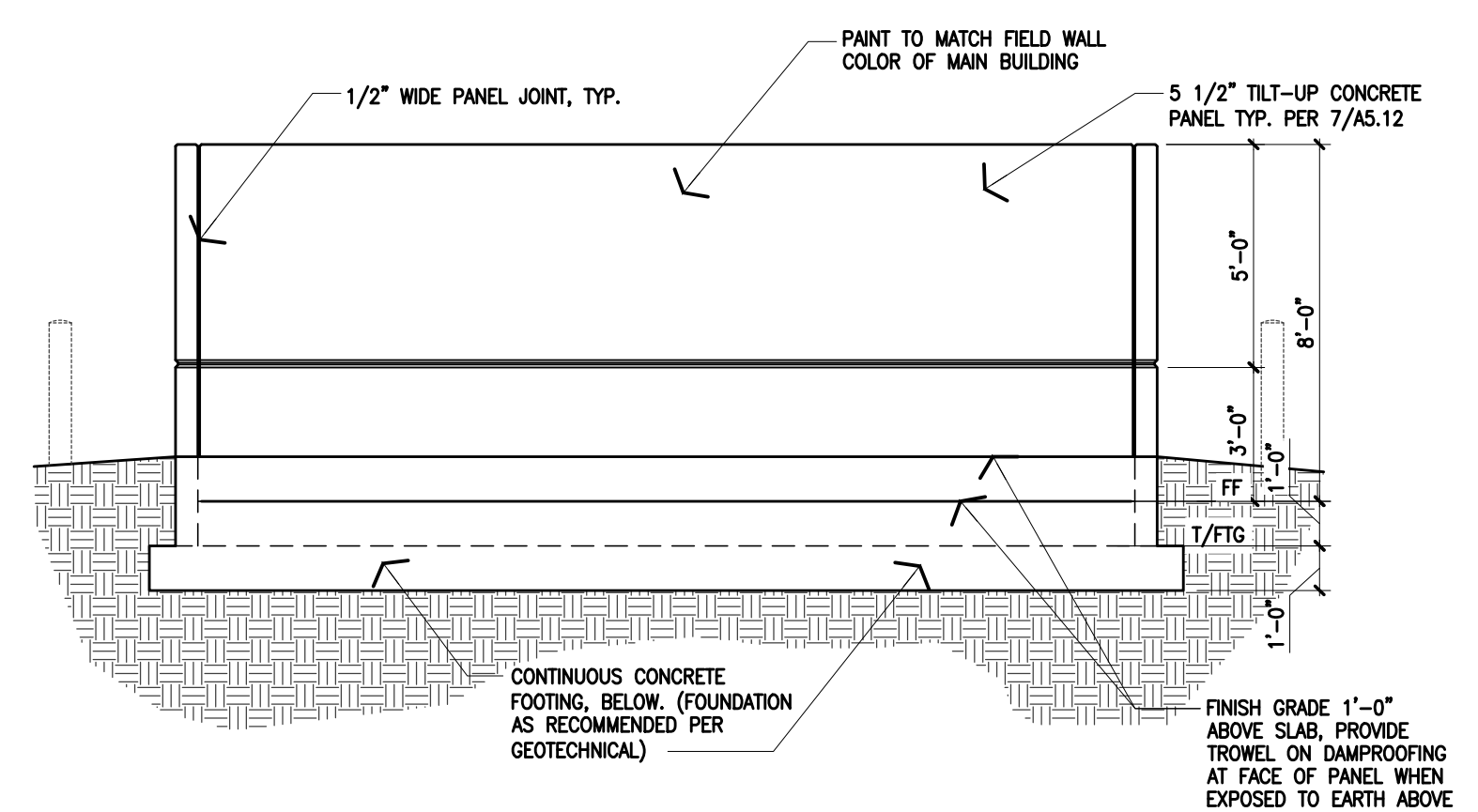
NOTE:
ALL EXTERIOR EXPOSED STEEL TO BE GALVANIZED & EPOXY PAINTED; REFERENCE FINISH SCHEDULE.



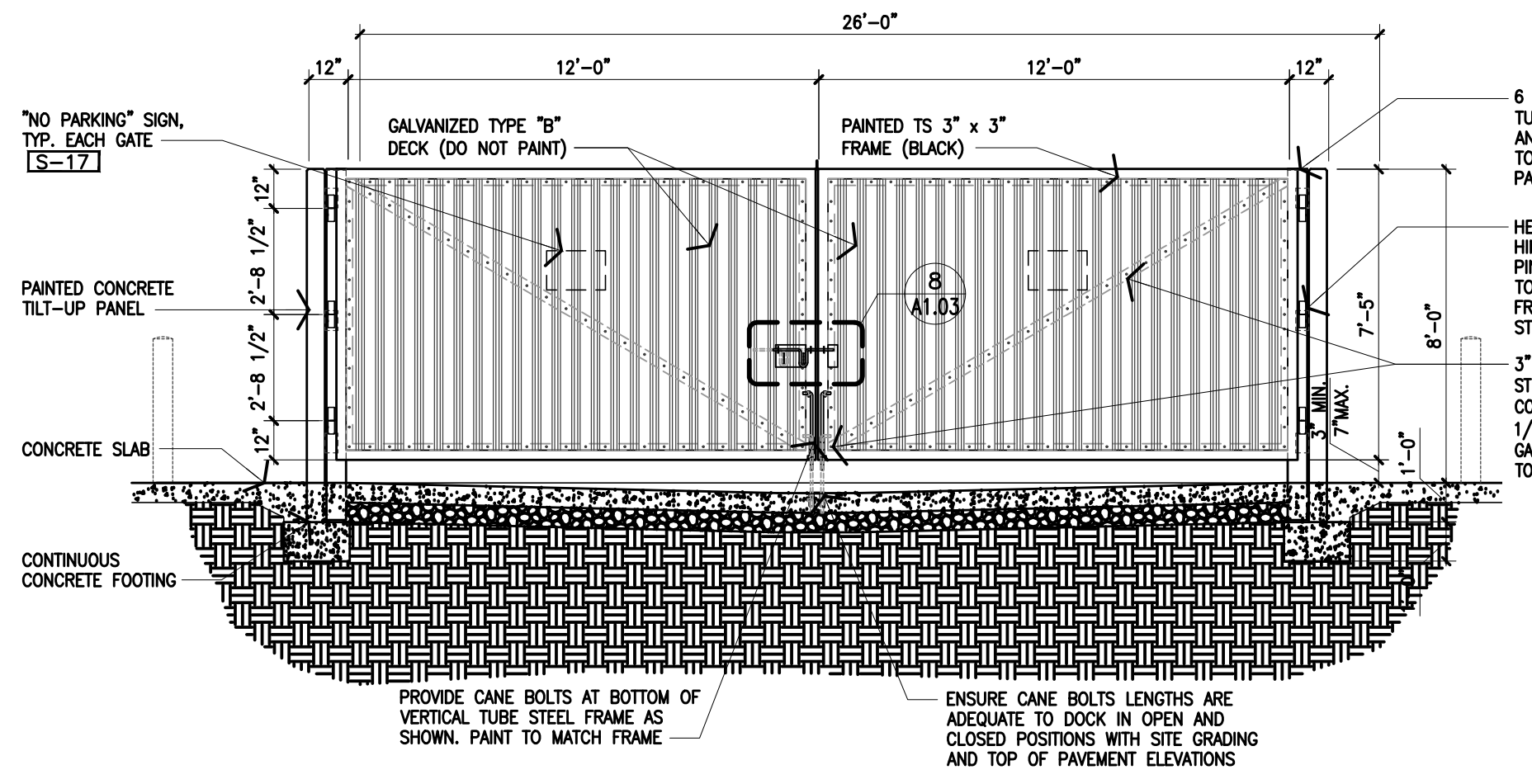
5 Trash Enclosure West Elevation
Scale: 1/4" = 1'-0"



4 Trash Enclosure East Elevation
Scale: 1/4" = 1'-0"

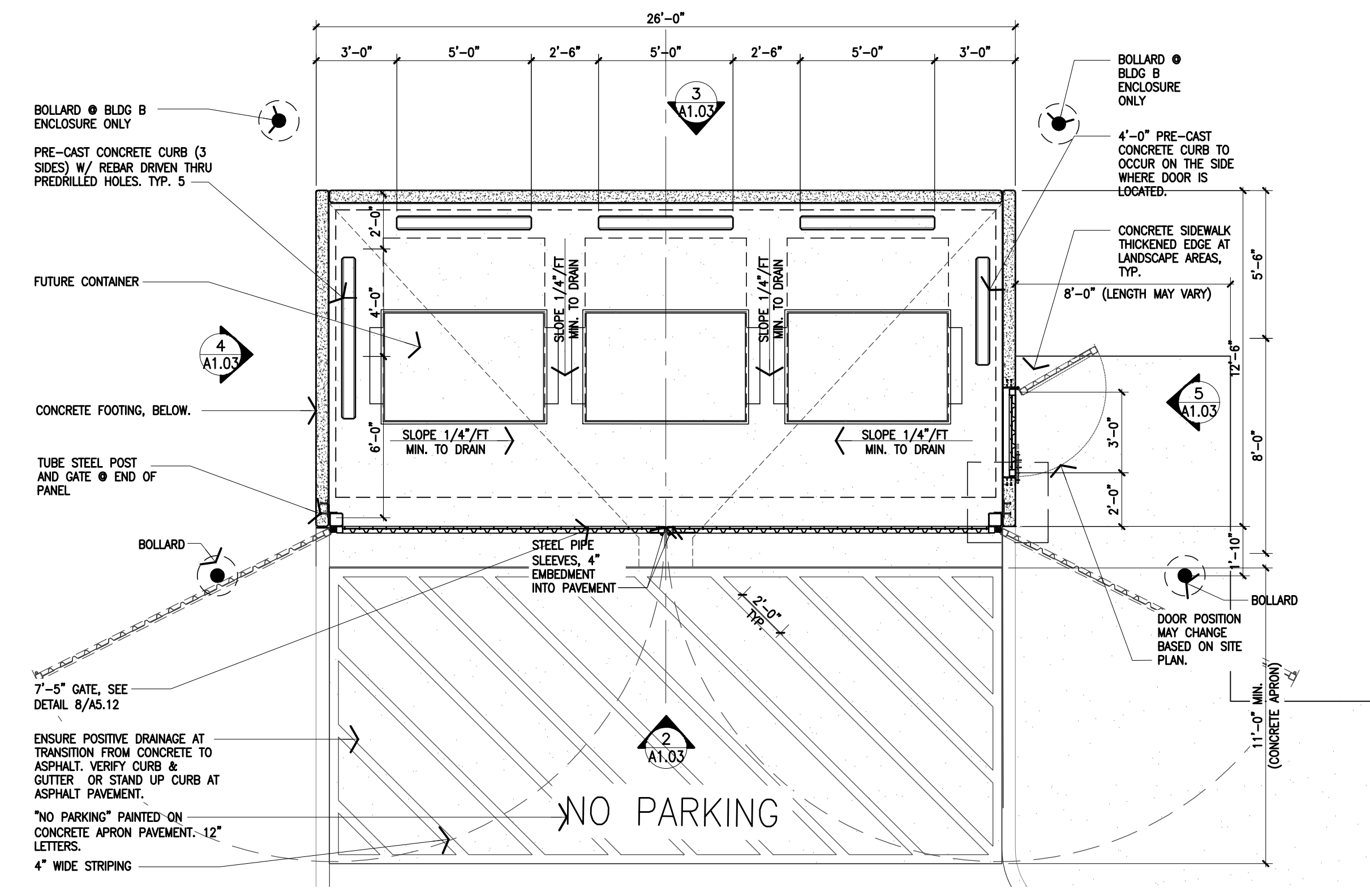


3 Trash Enclosure North Elevation
Scale: 1/4" = 1'-0"



2 Trash Enclosure South Elevation
Scale: 1/4" = 1'-0"

NOTE:
ALL EXTERIOR EXPOSED STEEL TO BE GALVANIZED & EPOXY PAINTED; REFERENCE FINISH SCHEDULE.



1 Trash Enclosure Plan
Scale: 1/4" = 1'-0"

SITE PLAN SIGNATURE BLOCK:

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2021.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER: SP2021-002

**DELIVERY STATION: DDF9
SEC OF JUSTIN RD & INDUSTRIAL BLVD.
ROCKWALL, TX 77573**

mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.701.4819

**PRELIMINARY
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY**

Job Number: 200142
Drawn By: NG
App'd By: RER
Sheet Title: **Trash Enclosure**

Sheet Number: **A1.03**

Issue Date **03/02/21**

Revisions	Date	Description	By
△			
△			
△			
△			
△			
△			
△			
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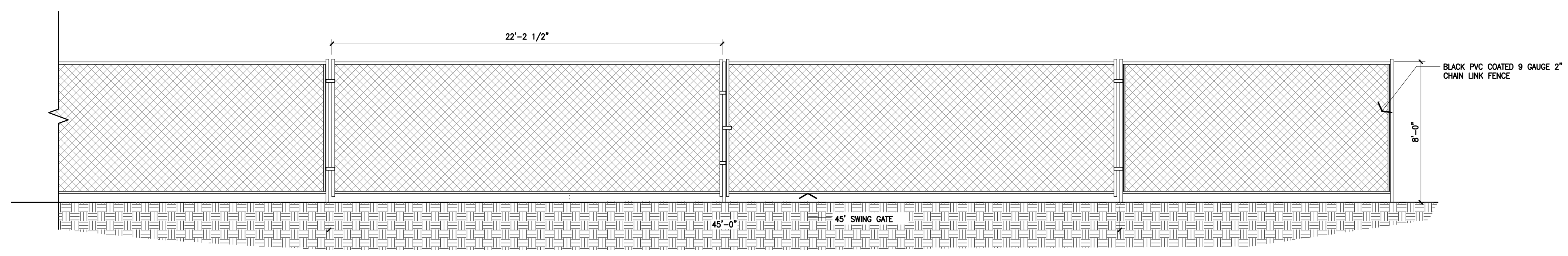
**DELIVERY STATION: DDF9
SEC OF JUSTIN RD & INDUSTRIAL BLVD.
ROCKWALL, TX 77573**

Seal
**PRELIMINARY
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY**

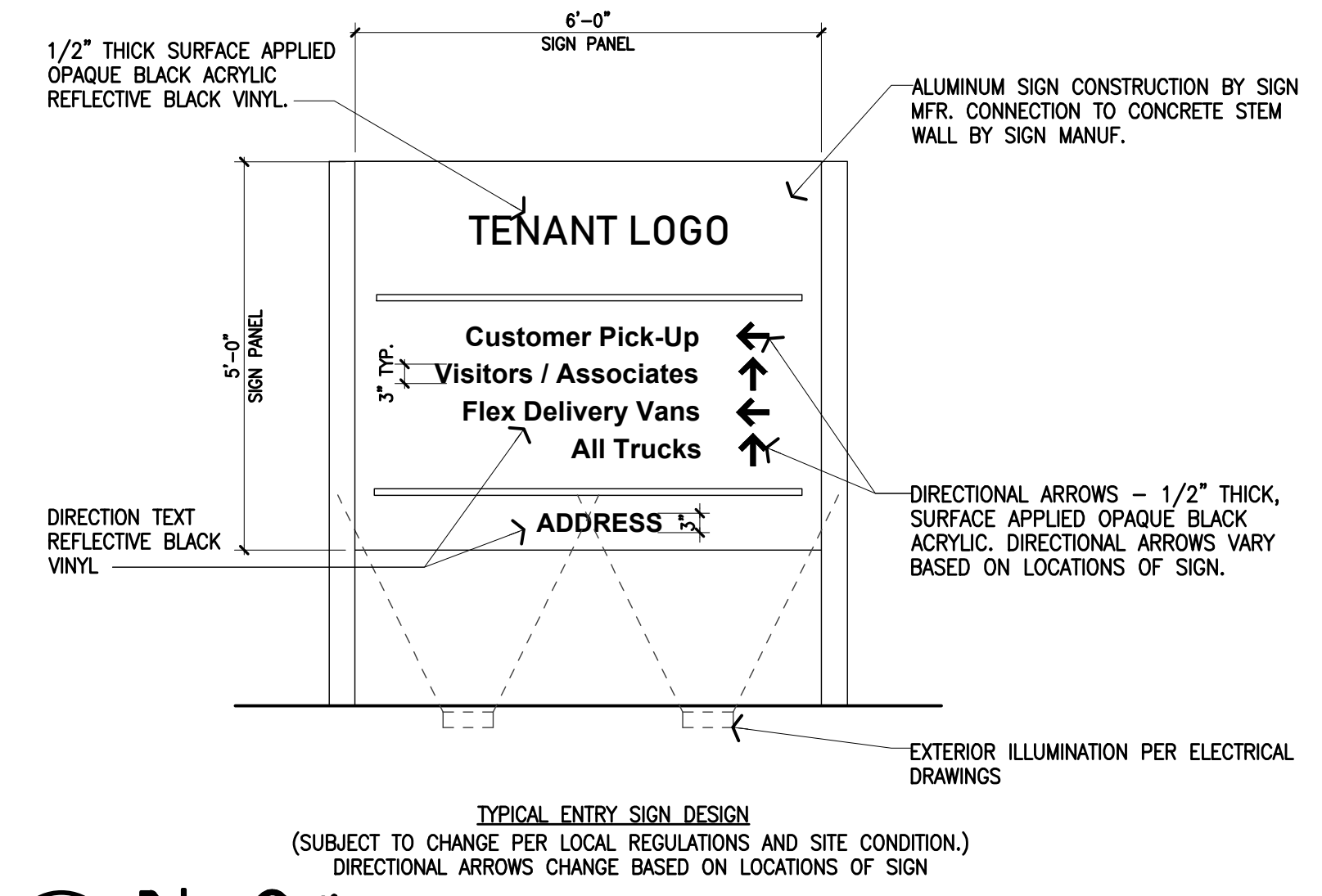
Job Number 200162
Drawn By NG
App'd By SV

Sheet Title
**Signage
Graphics and
Details**

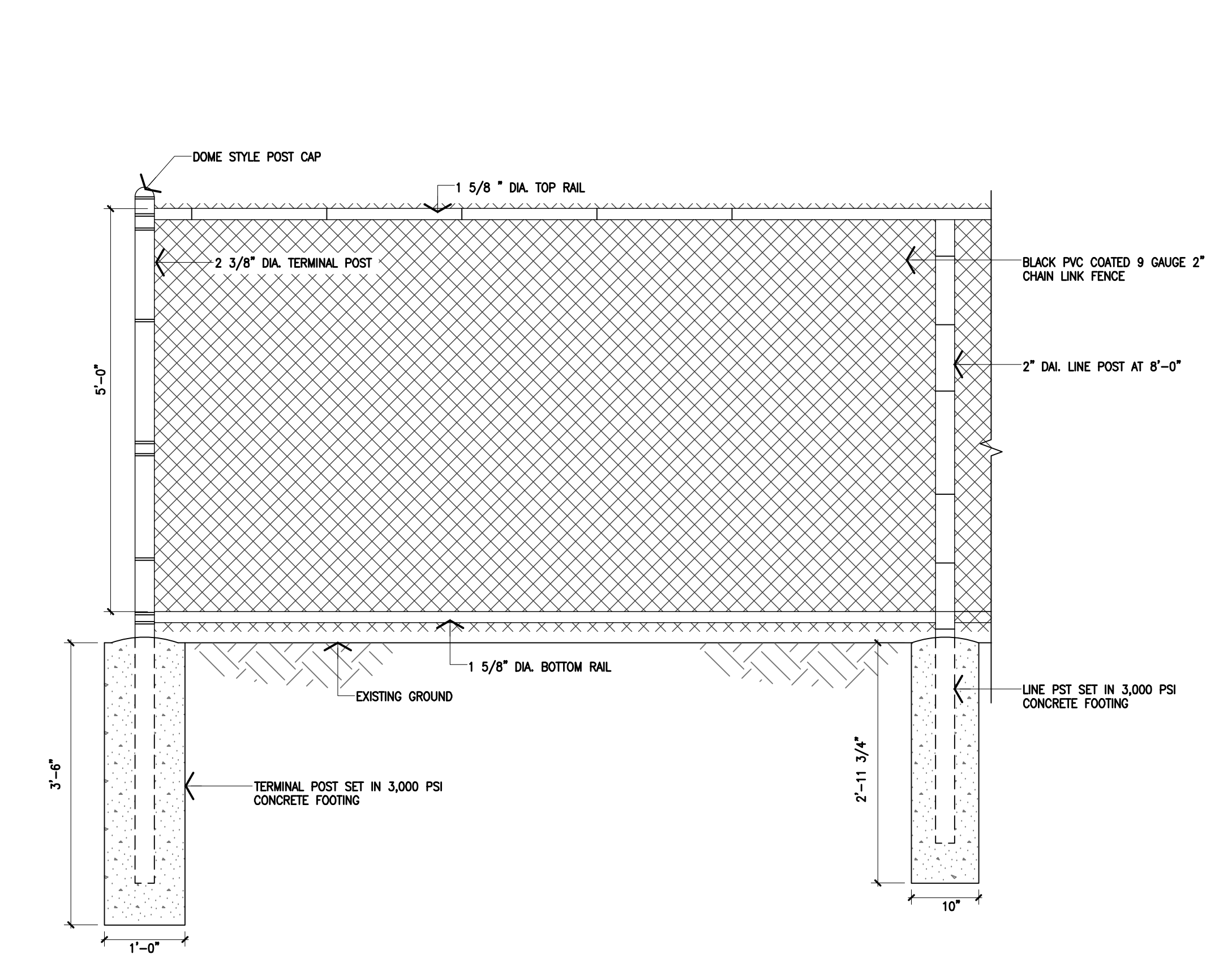
Sheet Number
A1.02



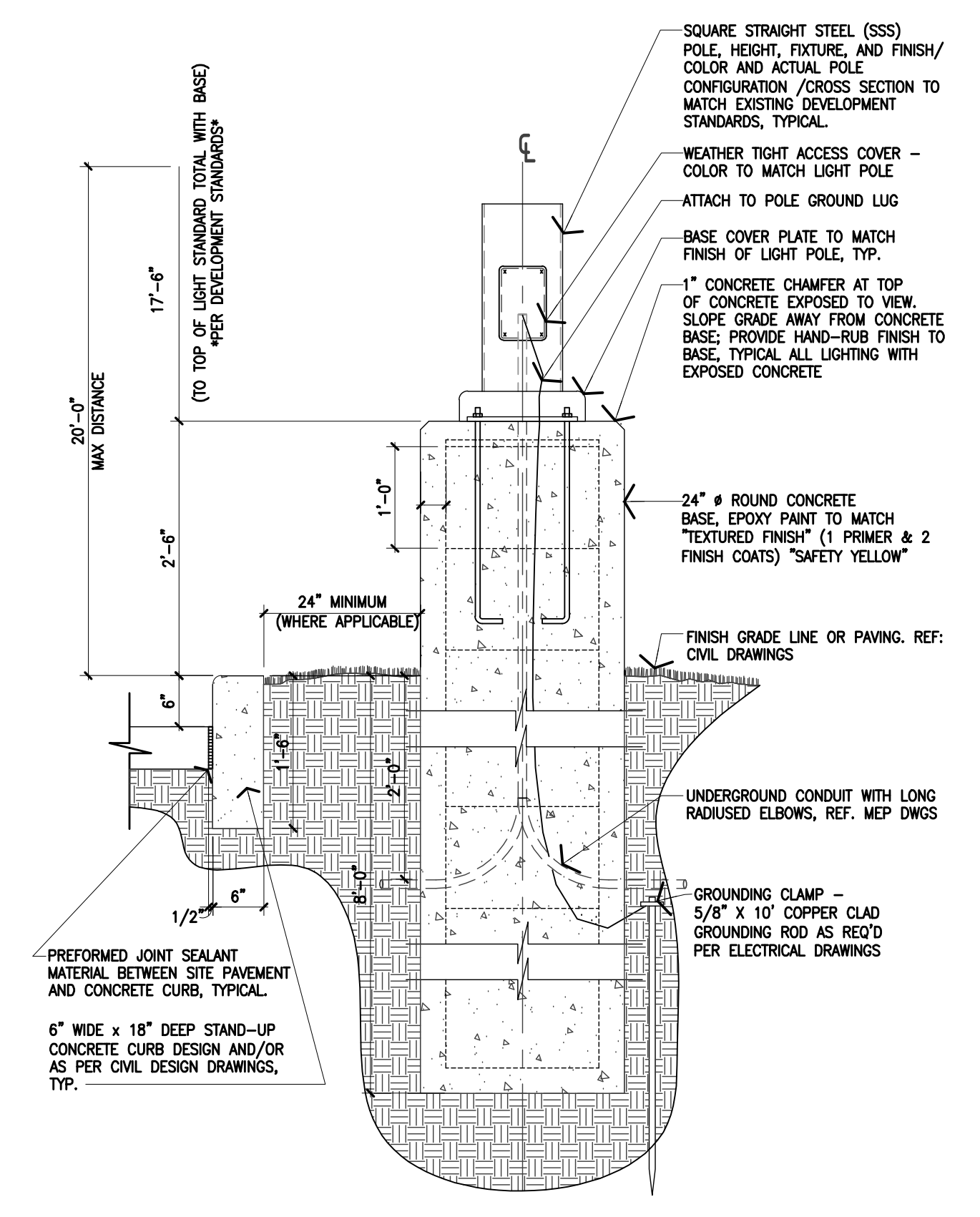
6 Chain Link Fence @ Truck Court Elevation
Scale: 1/4" = 1'-0"



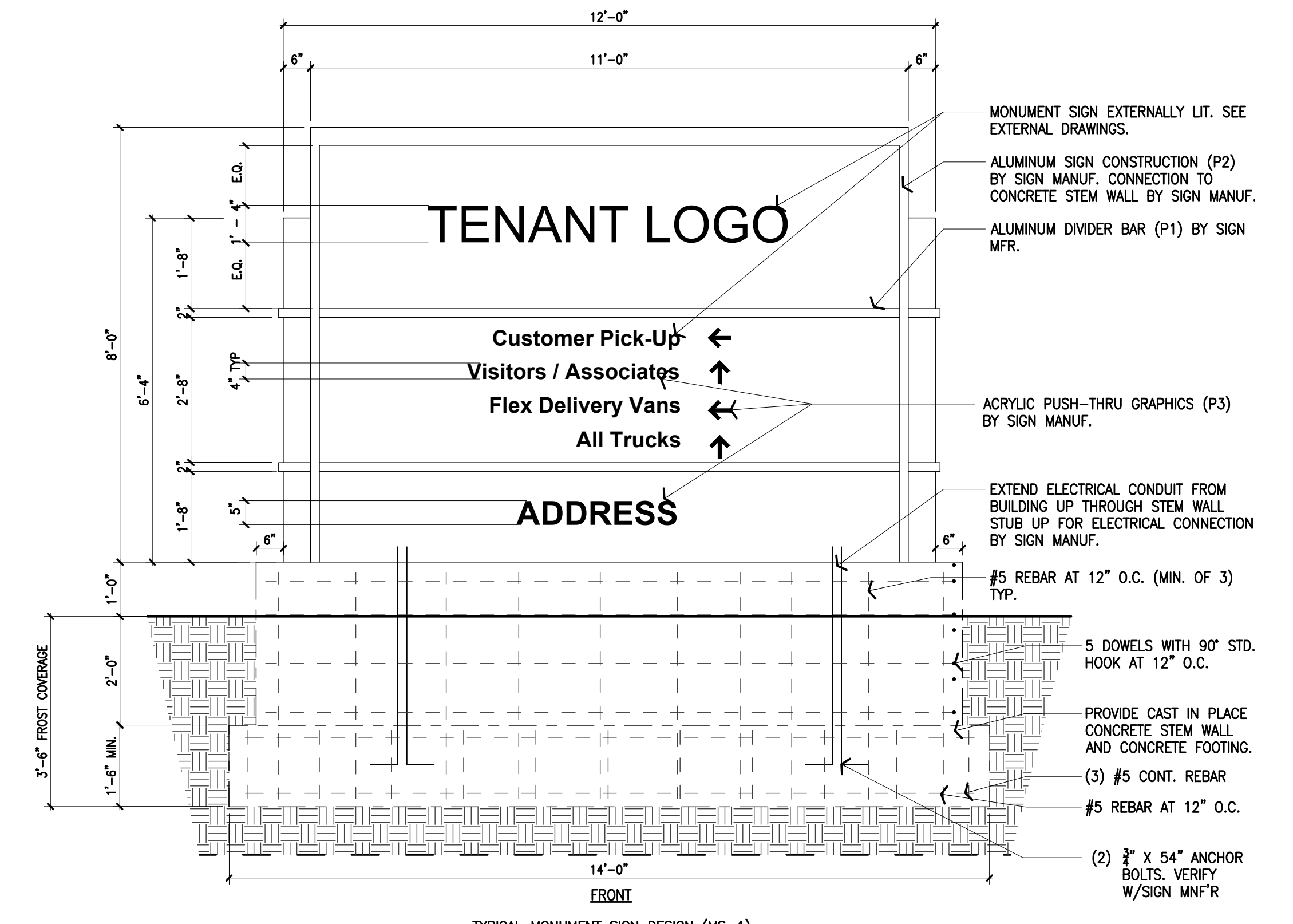
5 Pylon Sign
Scale: 1/2" = 1'-0"



4 Pedestrian Fence
Scale: 3/4" = 1'-0"



3 Development Site Lighting Pole Base
Scale: 3/4" = 1'-0"

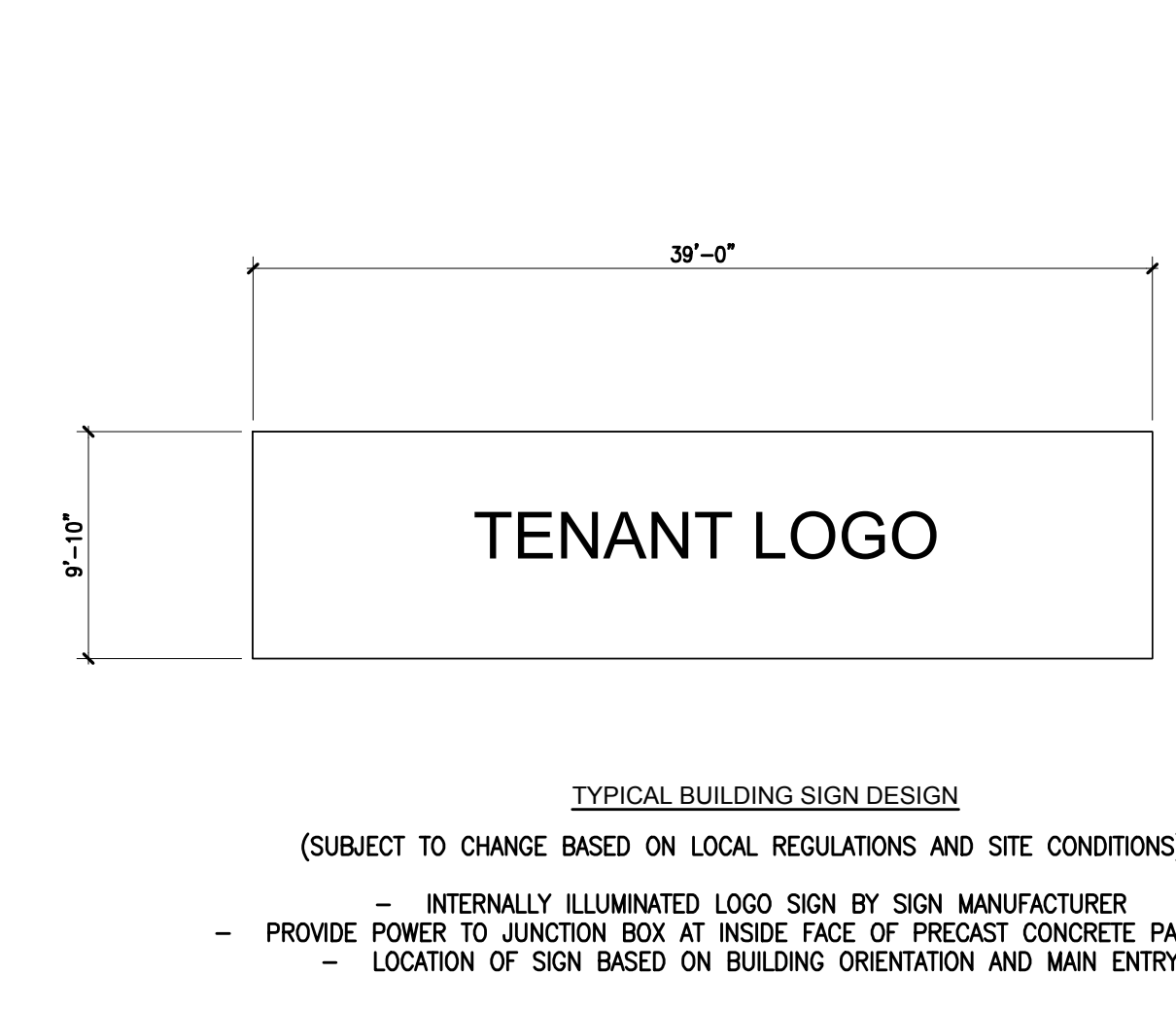


2 Illuminated Monument sign (MS-1), Option 1
Scale: 1/2" = 1'-0"

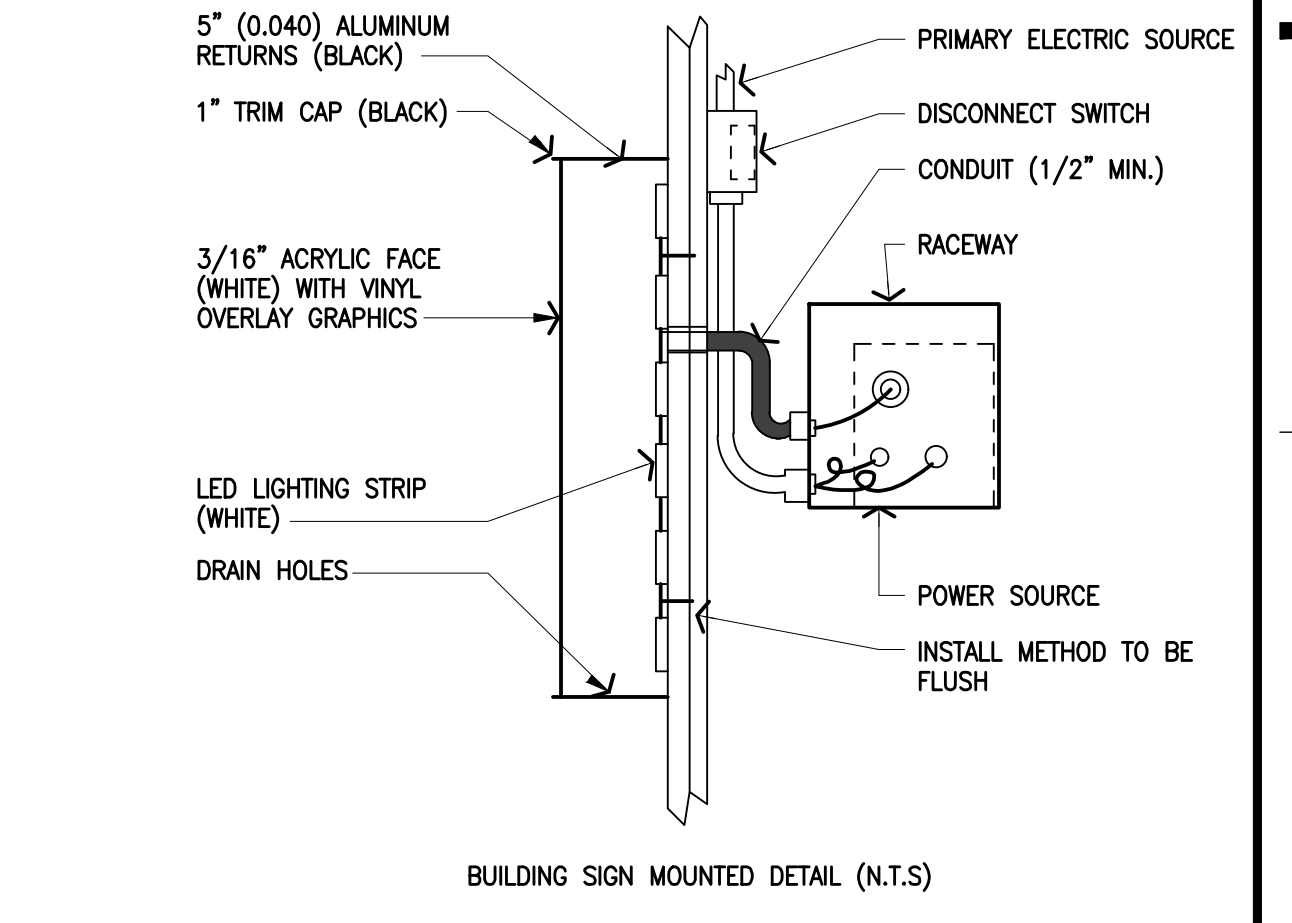
TYPICAL MONUMENT SIGN DESIGN (MS-1)
(DIRECTIONAL ARROWS TO BE REVERSED PER LOCATION)
(SUBJECT TO CHANGE BASED ON LOCAL REGULATIONS AND SITE CONDITIONS. COORDINATE ORIENTATION IN FIELD)
DIRECTIONAL ARROWS CHANGE BASED ON LOCATIONS OF SIGN

SIGN CONSTRUCTION NOTES
1. SIGN FACE TO BE SATIN WHITE, HALO LIGHTED AT PERIMETER
2. OUTER SURFACES TO BE PAINTED TO MATCH BUILDING COLORS
3. INTERIOR SURFACES TO BE PAINTED GLOSS WHITE (C1)
4. TENANT - ACRYLIC PUSH-THRU GRAPHICS, OPAQUE BLACK (C2) SURFACE, "HALO" LIGHTED
5. TENANT "SMILE" - ACRYLIC PUSH-THRU GRAPHICS, TRANSLUCENT BLUE (C7)
6. DIRECTIONAL TEXT - ACRYLIC PUSH-THRU GRAPHICS, OPAQUE BLACK (C2) SURFACE, "HALO" LIGHTED
7. TENANT LOGO - ACRYLIC PUSH-THRU GRAPHICS, OPAQUE BLACK (C2) SURFACE, "HALO" LIGHTED

NOTE:
ORIENTATION OF "ARROWS" SHALL BE BASED ON MONUMENT SIGN LOCATION.



1 Typical Building Sign
Scale: 1/8" = 1'-0"



SITE PLAN SIGNATURE BLOCK:

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2021.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER: SP2021-002



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Rolando Leal; *Good Cluck LLC*
CASE NUMBER: SP2021-003; *Amended Site Plan for Good Cluck*

SUMMARY

Discuss and consider a request by Rolando R. Leal of Good Cluck, LLC on behalf of Charles Corson of CCP LJS Rockwall LP for the approval of an Amended Site Plan for a Restaurant with Drive Through/Drive-In on a 0.448-acre tract of land identified as a portion of Lot 1 of the I-30 740 West Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 2608 Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on September 26, 1960, by *Ordinance No. 60-04*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the January 3, 1972 zoning map, at some point between the time of annexation and January 3, 1972 the subject property was rezoned to a Commercial (C) District. This remains the current zoning designation of the subject property. On September 4, 1980 the subject property was platted as Part of Lot 1, I-30 740 West Addition. According to RCAD the existing 2,759 SF restaurant with drive-through building was constructed in 1988.

PURPOSE

The applicant is requesting the approval of an amended site plan for the renovation of the existing 2,759 SF restaurant with drive-through situated on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2608 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.548-acre parcel of land zoned Commercial (C) District. Beyond this is a vacant 5.657-acre tract of land zoned Commercial (C) District. Beyond this is La Jolla Pointe Drive, which is classified as a Minor Collector on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Ridge Road, which is identified as a M4D (*i.e. Major, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Interstate 30, which is identified as a Texas State Highway.

East: Directly east of the subject property is Ridge Road, which is identified as a M4D (*i.e. Major, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are eight (8) tracts of land zoned Commercial (C) District.

West: Directly west of the subject property is a 0.523-acre parcel of land zoned Commercial (C) District. Beyond this is a 1.0-acre parcel of land zoned Commercial (C) District. Beyond this vacant 5.657-acre tract of land zoned Commercial (C) District. Beyond this is a vacant 2.544-acre tract of land zoned Commercial (C) District. Beyond

this is a 2.681-acre parcel of land zoned Commercial (C) District. Beyond this is La Jolla Pointe Drive, which is classified as a Minor Collector on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

The applicant is proposing to renovate the existing 2,759 SF restaurant with drive-through. The proposed renovations include expanding the proposed building footprint to 2,835 SF and recladding the exterior of the building with a combination of stone, brick, and stucco. The current building is considered to be legally non-conforming and is clad in EIFS and siding. The overall site plan will remain the same with the exception of the landscaping, which will be upgraded to better conform to the Scenic Overlay (SOV) District standards; however, will still not adhere to the standards contain in the Unified Development Code (UDC). A summary of the density and dimensional requirements for the subject property, and the proposed projects conformance to these standards is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	19,515 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	133.39-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	164.84-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	46-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	~68-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	~9.2-Feet; <i>Legally Non-Conforming</i>
<i>Maximum Building Height</i>	60-Feet	~23-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	14.5%; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90%	100%; <i>Legally Non-Conforming</i>
<i>Minimum Number of Parking Spaces</i>	28	19; <i>Legally Non-Conforming</i>
<i>Minimum Stone Requirement</i>	20%	21.5%; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	5.5%; <i>Legally Non-Conforming</i>
<i>Maximum Impervious Coverage</i>	85-90%	94.5%; <i>Legally Non-Conforming</i>

TREESCAPE PLAN

The landscape plan submitted by the applicant with the site plan indicates that no trees will be removed from the site and that no mitigation will be required.

CONFORMANCE WITH THE CITY'S CODES

Currently, the existing building meets the horizontal and vertical building articulation requirements; however, the applicant is proposing to reface the building and change the pitched roof design to give the appearance of a flat roof. According to Subsection 06.02(C)(2), *Roof Design Standards*, of Article 05, *District Development Standards*, “(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof.” In addition, Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) provides the minimum articulation standards for commercial buildings. In this case, the proposed redesign does not meet the minimum vertical articulation requirements. According to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(i)in cases where a variance or variances is/are being requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance.” Staff should point out that the proposed improvements to the building bring this property closer into conformance with the Scenic Overlay (SOV) District requirements. In addition, the proposed parapet provided in the redesign further screens the rooftop units (RTUs) (*i.e. HVAC and vent-a-hood equipment*) that are currently highly visible from Ridge Road and IH-30. Based on these, changes the proposed plan does appear to be provide enough compensatory measures to justify the requested variance; however, this is a discretionary decision for the Planning and Zoning Commission. To approve this variance, request a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative, is required. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is located within the IH-30 Corridor District. This district is composed primarily of a Special Commercial Corridor (SC). The IH-30 Corridor District will continue to serve as the City's primary retail corridor in the future. The subject property is zoned Commercial (C) District, and the applicant's request appears to be in conformance with Future Land Use Plan and the District Strategies outlined for the IH-30 Corridor District as stipulated in the OURHometown Vision 2040 Comprehensive Plan. In addition, the redesign of the proposed building conforms to several of the goals and policies contained in Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On February 23, 2021, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. The ARB wanted the parapet wall increased in height to screen the existing rooftop units (RTUs) (*i.e. HVAC and vent-a-hood equipment*). The ARB also wanted the applicant to raise the stone element on the west elevation to create a tower feature. The applicant has provided updated building elevations that meet the ARB's requests. These will be reviewed by the ARB at the meeting on March 9, 2021.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for an amended site plan for an existing restaurant with drive-through, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2608 Ridge Rd., Rockwall, TX

SUBDIVISION I-30 & 740 West Addition LOT 1 Part BLOCK

GENERAL LOCATION NWC of I-30 @ Ridge Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE Fast Food Restaurant

PROPOSED ZONING PROPOSED USE Fast Food Restaurant

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	CCP LJS Rockwall LP	<input checked="" type="checkbox"/> APPLICANT	Good Cluck LLC
CONTACT PERSON	Robert Williams <i>Charles Covson</i>	CONTACT PERSON	Rolando R. Leal
ADDRESS	8333 Douglas Ave. Suite 1500	ADDRESS	1602 Wynn Joyce Rd.
CITY, STATE & ZIP	Dallas, TX 75225	CITY, STATE & ZIP	Garland, TX 75043
PHONE	(214)365-4815	PHONE	(972)897-8602
E-MAIL	RWilliams@centriccapitalinc.com	E-MAIL	RLeal@Lealres.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles Covson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION ID # 6120413

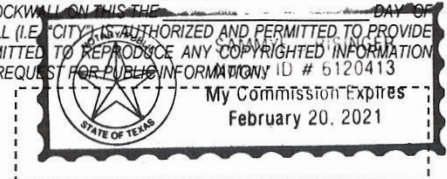
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9th DAY OF Feb., 2020.

OWNER'S SIGNATURE

Charles Covson

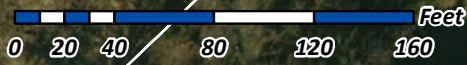
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Samuel D. Pisinger



MY COMMISSION EXPIRES

02/20/2021



SP2021-003- AMMENDED SITE PLAN FOR GOLDEN CHICK
SITE PLAN - LOCATION MAP = 

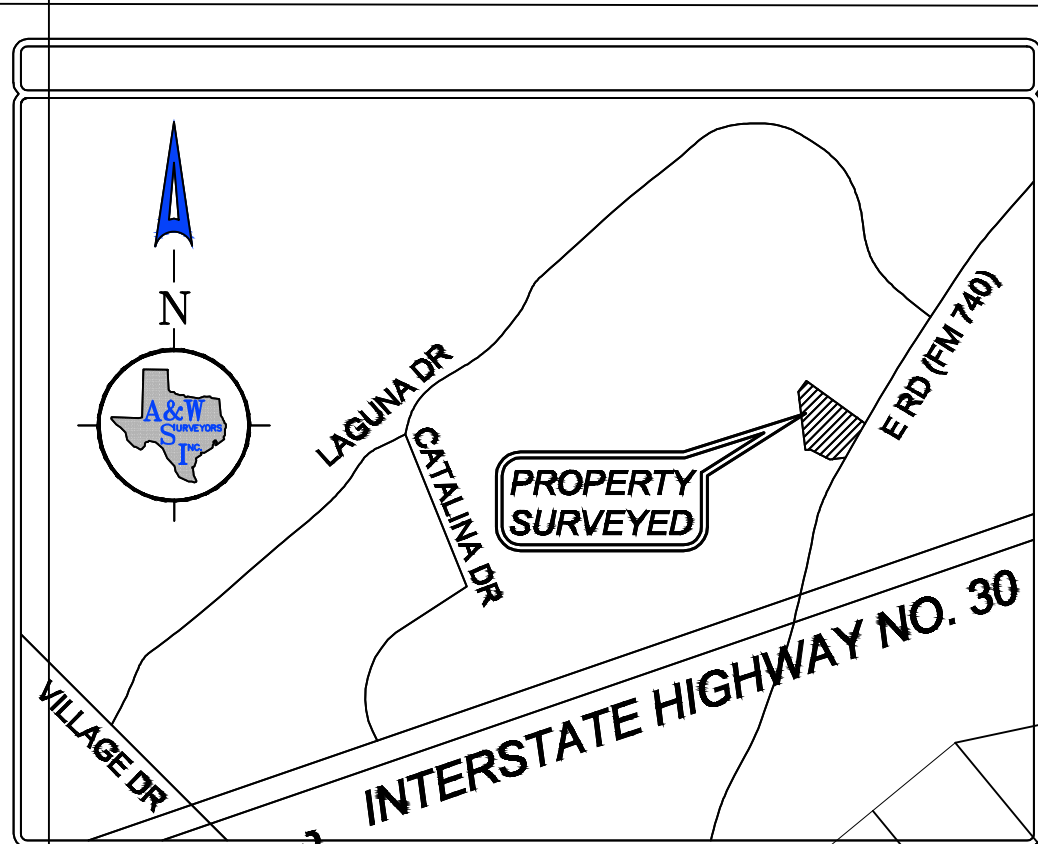


City of Rockwall

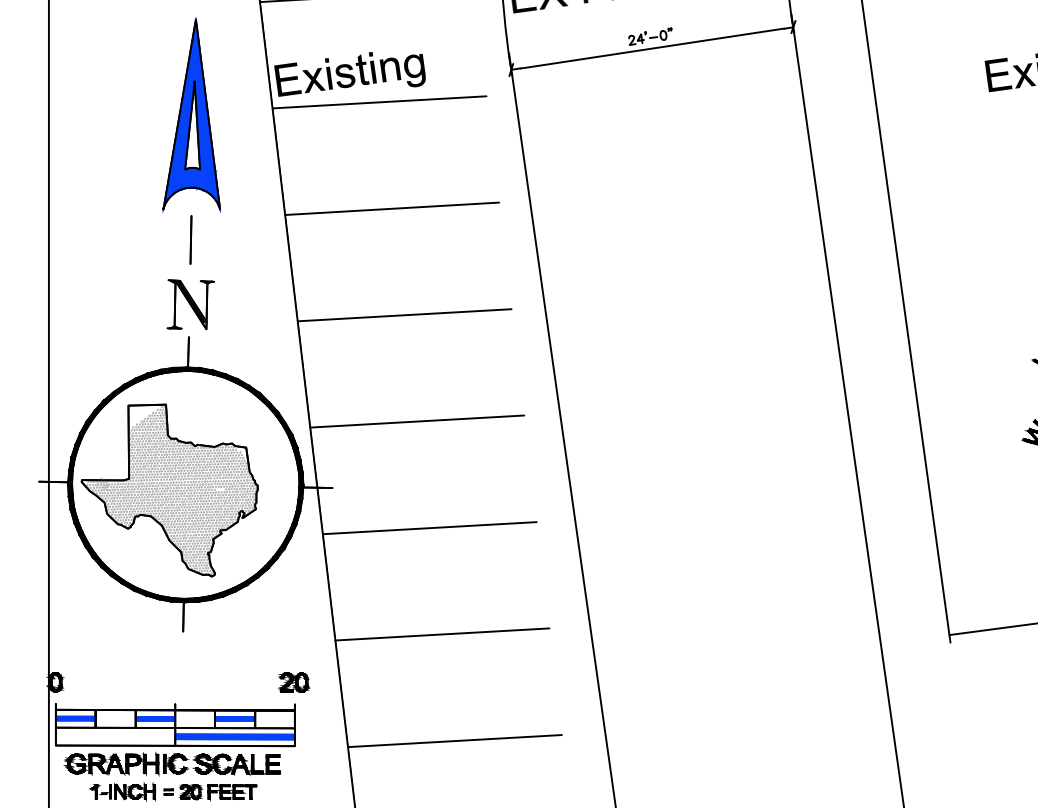
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





2 Location plan
A1.0 SCALE: NTS



1 ARCHITECTURAL SITE PLAN
A1.0 SCALE: 1/2"=20'

Density info:
Site Area - 19,508 sq. ft
Bldg Area - 2,835 sq.ft
Coverage % = 7%
Building height = 18-9.1/2"
to parapet & 24'-1/2" to top
of peak
Building dims as on site
plan

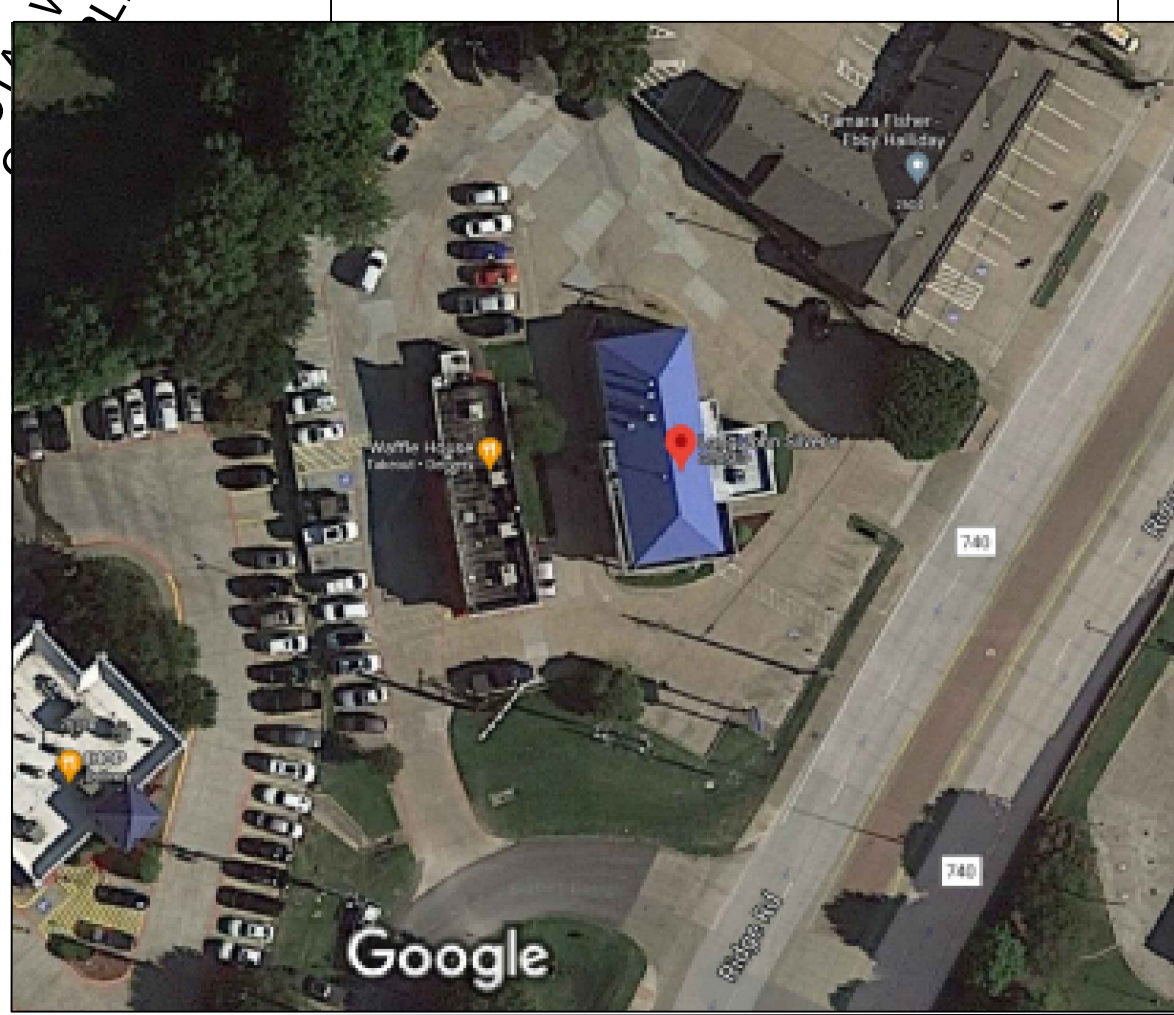
PARKING
Parking required = 1 per 100 sq.ft
Building area of 2835 = 28 bays
Ex bays = 25 bays with shared
access and parking adjacent
Building area of 2835 - storage of
340 = 2495 sq.ft = 25 bays
ADA parking required = 1 bay
Provided = 2 bay van accessible

SITE DATA
This site is located in the IH-30 Overlay District (Article 5 for IH-30 Overlay (IH-30 OV) District standards).
This project is subject to all requirements stipulated by the Unified Development Code (UDC)
This Site is a Commercial (C) District, not a General Retail (GR) District.
As per Article 8, Landscape and Fence Standards, of the Unified Development Code (UDC) Building Elevations apply.
01.05, Screening Standards, of Article 5, District development Standards, of the UDC for a dumpster enclosure detail.
Trash enclosure to have the same masonry materials as the main building.
Also, the enclosure shall incorporate a self-latching opaque gate.
NOTES:
EXISTING PARKING LAYOUT RETAINED AS IS
EXISTING FIRE LANES AND TURNING RADII RETAINED

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED
All lighting shall be downward facing and fully shielded

SITE PLAN SIGNATURE BLOCK APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the

.....
Planning & Zoning Commission, Chairman Director of Planning and Zoning



CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

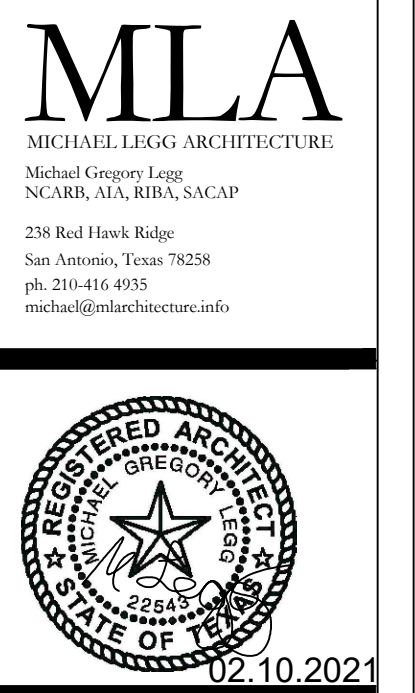
SUBSECTION 7.03: NON-RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

* FOR DEVELOPMENT IN THE DOWNTOWN (DT) DISTRICT SEE THE STANDARDS IN SECTION 04.08 DOWNTOWN (DT) DISTRICT.

DEVELOPMENT STANDARDS	RESIDENTIAL OFFICE DISTRICT (RO)	NEIGHBORHOOD SERVICES (NS) DISTRICT	GENERAL RETAIL (GR) DISTRICT	COMMERCIAL (C) DISTRICT	HEAVY COMMERCIAL (HC) DISTRICT	LIGHT INDUSTRIAL (LI) DISTRICT	HEAVY INDUSTRIAL (HI) DISTRICT
MINIMUM LOT REQUIREMENT	N/A	5,000 1	28,000 2	10,000	12,500	12,500	87,120
MINIMUM LOT AREA (SF)	6,000 3	6,000	43,560	43,560	43,560	43,560	100
MINIMUM LOT WIDTH (FEET)	60	60	60	60	60	60	200
MINIMUM LOT DEPTH (FEET)	100	100	100	100	125	125	350
MINIMUM SETBACKS							
FRONT (FEET)	25.4, 12	15.5	15.4, 5	15.4, 5	25.4	25.4	50+12H+36 7 50.4
REAR (FEET)	30	20 W/O FRW & ALLEY	10 W/O FRW & ALLEY	10 W/O FRW & ALLEY	20 W/O FRW & ALLEY	10 W/O FRW & ALLEY	20+12H+36 W/O FRW 7
REAR ADJACENT RESIDENTIAL (FEET) 6	N/A	20	20 + 12H+36 7	20 + 12H+36 7	20 + 12H+36 7	20 + 12H+36 7	50 + 12H+36 7
SIDE (FEET)	10	0 W/O FRW	0 W/O FRW	0 W/O FRW	12H+36 W/O FRW 7	12H+36 W/O FRW 7	15 + 12H+36 W/O FRW 7
SIDE ADJACENT RESIDENTIAL (FEET) 6	20	20	20 + 12H+36 7	20 + 12H+36 7	20 + 12H+36 7	20 + 12H+36 7	50
BETWEEN BUILDINGS (FEET)	15 W/O FRW 0 W/O FRW	15 W/O FRW 0 W/O FRW	15 W/O FRW 0 W/O FRW	15 W/O FRW 0 W/O FRW	12H+36 W/O FRW 7	12H+36 W/O FRW 7	15 + 12H+36 W/O FRW 7
BUILDING HEIGHT (H) (FEET)	36	36	36 8	60 9	60 9	60 13	60 13
MAXIMUM LOT COVERAGE (%)	40	40	40	60	60	60	85
FLOOR AREA RATIO (FAR)	0.33	N/A	2.1	4.1	4.1	2.1	4.1
MAXIMUM IMPERVIOUS PARKING (%) 10	15-80 11	80-85	85-90	85-90	90-95	90-95	90-95
MINIMUM LANDSCAPING (%)	SEE ARTICLE 08, LANDSCAPE AND FENCE STANDARDS						

ADDITIONAL REQUIREMENTS:
1. A MAXIMUM BUILDING SIZE OF 5,000 SF IN AREA, UNLESS OTHERWISE APPROVED TO EXCEED 50 FEET THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
2. A MAXIMUM BUILDING SIZE OF 28,000 SF IN AREA, UNLESS OTHERWISE APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
3. MAXIMUM LOT AREA IS 43,560 SF.
4. FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
5. PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
6. LOTS WITH NON-RESIDENTIAL USES THAT HAVE A SIDE OR REAR YARD CONTIGUOUS TO A STREET OR SEPARATED ONLY BY AN ALLEY, EASEMENT, OR STREET, FROM ANY RESIDENTIAL DISTRICT MUST BE SEPARATED FROM SUCH RESIDENTIAL DISTRICT BY A BUFFER ZONE AS DEFINED IN ARTICLE 08, LANDSCAPE AND FENCE STANDARDS, OR AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
7. A MINIMUM OF SEVEN (7) PERCENT OF THE INTERIOR OF THE PARKING LOT - NOT INCLUDING THE SETBACK AND LANDSCAPE BUFFER - SHALL BE PERVIOUS LAND AREA WITH ADDITIONAL PLANTINGS TO CREATE AN AMENITY OPEN SPACE.
8. LOTS WITH NON-RESIDENTIAL USES THAT HAVE A SIDE OR REAR YARD CONTIGUOUS TO A STREET OR SEPARATED ONLY BY AN ALLEY, EASEMENT, OR STREET, FROM ANY RESIDENTIAL DISTRICT MUST BE SEPARATED FROM SUCH RESIDENTIAL DISTRICT BY A BUFFER ZONE AS DEFINED IN ARTICLE 08, LANDSCAPE AND FENCE STANDARDS, OR AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
9. BUILDING HEIGHT MAY BE INCREASED UP TO 60 FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
10. BUILDING HEIGHT MAY BE INCREASED UP TO 240 FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
11. A MINIMUM OF SEVEN (7) PERCENT OF THE INTERIOR OF THE PARKING LOT - NOT INCLUDING THE SETBACK AND LANDSCAPE BUFFER - SHALL BE PERVIOUS LAND AREA WITH ADDITIONAL PLANTINGS TO CREATE AN AMENITY OPEN SPACE.

PAGE 5-62 ARTICLE 05 | DISTRICT DEVELOPMENT STANDARDS



DRAWING COORDINATION
Structural, Landscape, Civil,
Mechanical and Electrical
General Contractor and all Sub
Contractors shall review and
coordinate the entire set of
drawings and specifications

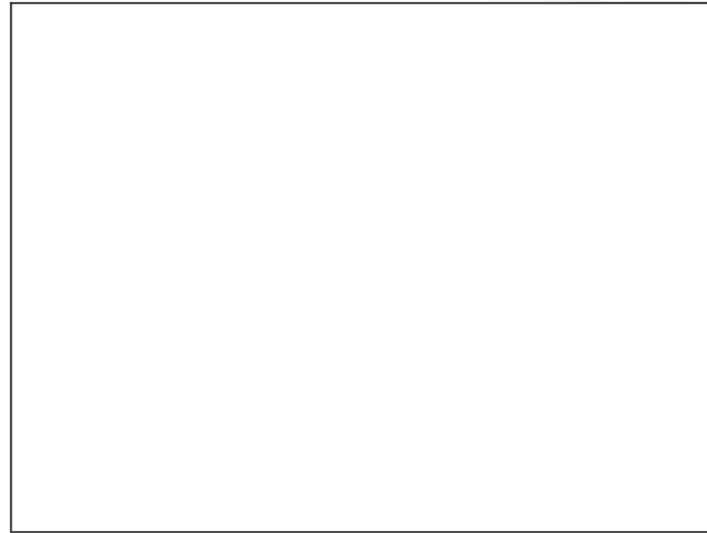
ARCHITECTURAL SITE PLAN
**GOLDEN CHICK
RESTAURANT REMODEL**
2608 Ridge Road,
Rockwall TX

REV	DESCRIPTION	DATE
REV 1	RESPONSE TO CITY COMMENTS	03.03.2022

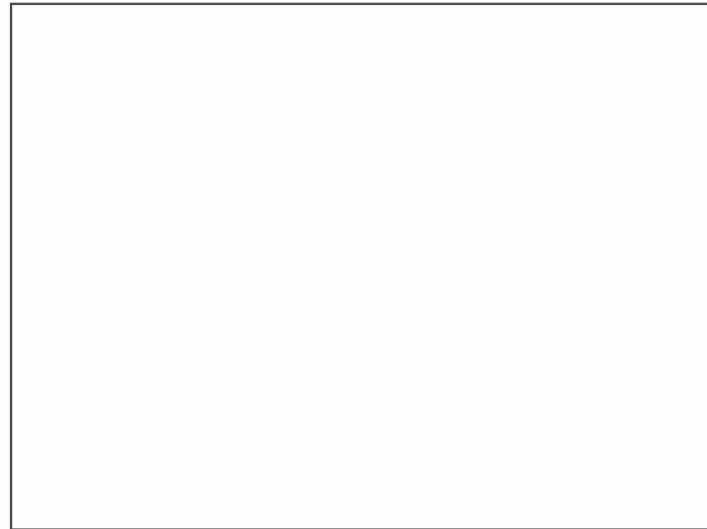
SCALE:
AS NOTED

PROJECT NO.
02-10-21

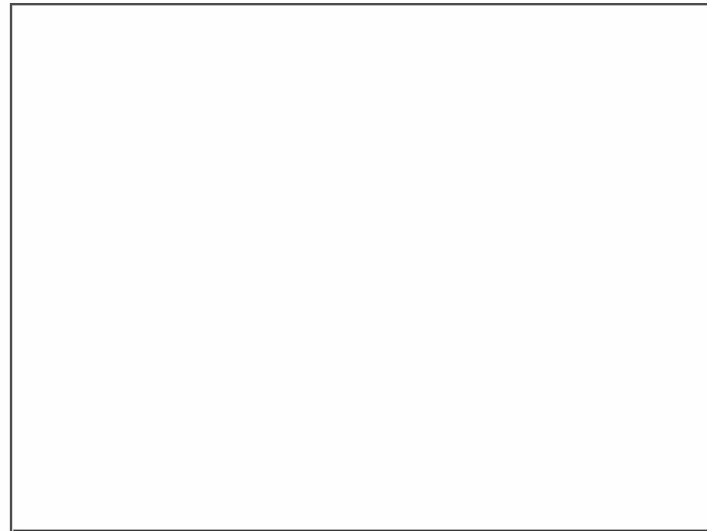
SHEET NO.
A1.0



1. Black metal canopy



2. Yellow metal roofing



3. Limestone

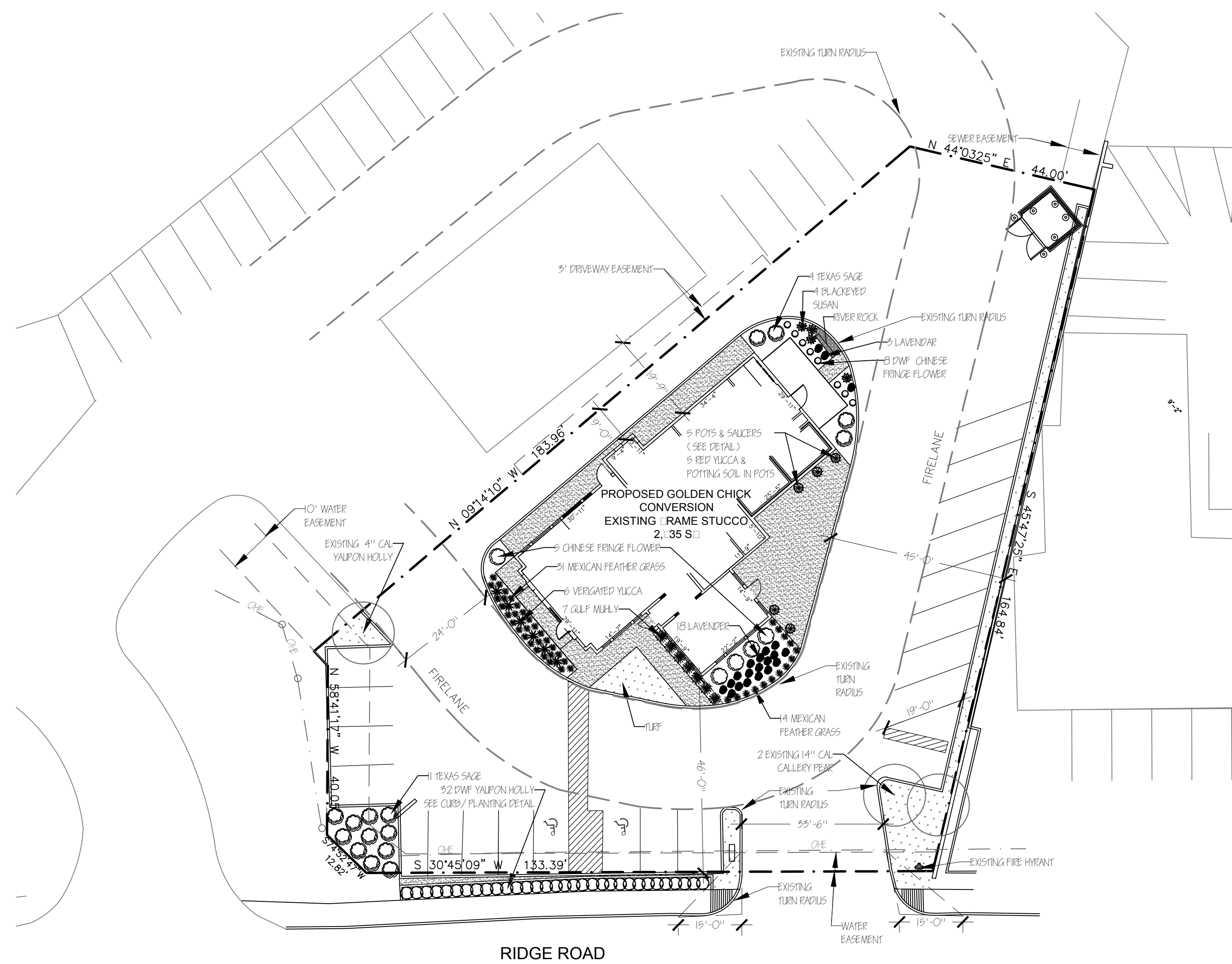


4. Brick

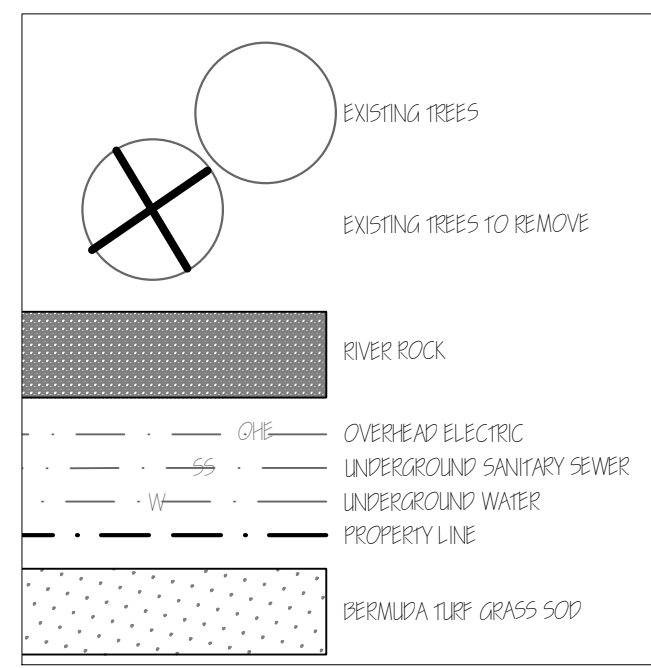
Applicant Information
 Legg Architecture, LLC
 26116 High Timber Pass,
 San Antonio, Texas 78260
 210-416-4935
 michael@mlarchitecture.info

Owner
 Mr. Rolando Leal
 C/O Site Specialists Realty
 Advisor's LLC, 1207 Eldorado
 Ave., Dallas, TX 75208
 972 897 8602
 rleatlealres.com

Rockwall Golden Chick Remodel
 Project # 01-10-21



PLANTING PLAN
Scale: 1" = 20'



DRAWING KEY

Common Name	Botanical Name	Texas Native	Size	Qty	Remarks
Proposed plants					
Bilk-eye Susan/ Rudebeckia Goldstrum	<i>Rudbeckia hirta 'Goldstrum'</i>	Perennial	No	3 gal	4 full pots
Chinese Fringe Flower	<i>Larospetalum var. rubrum 'Burgundy'</i>	Shrub	No	5 gal	5 full pots
Chinese Fringe Flower, dwarf	<i>Larospetalum chinensis 'Purple Pate'</i>	Shrub	No	5 gal	8 full pots
Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	Shrub	Yes	5 gal	32 full pots
Gulf Muhly	<i>Muhlenbergia capillaris</i>	Grass	Yes	3 gal	7 full pots
Lavender, English 'Munstead'	<i>Lavandula angustifolia 'Munstead'</i>	Herb	No	1 gal	21 full pots
Mexican Feather Grass	<i>Nassella tenuissima</i>	Grass	Yes	1 gal	45 full pots
Red Yucca	<i>Hesperaloe parviflora</i>	Shrub-like	Yes	5 gal	5 full pots
Texas Sage, Compact	<i>Leucophyllum frutescens 'Compactum'</i>	Shrub	Yes	5 gal	15 full pots
Variegated Yucca (Adams Needle)	<i>Yucca filamentosa</i>	Shrub	No	5 gal	6 full pots
Bermuda grass sod	<i>Turf 419</i>		sf	140	
River Rock	<i>New Mexico, 4" depth</i>		sf	20	
Metal edging	<i>14 gauge, 4" green</i>		lin ft	90	
Ceramic Pot + saucer	<i>Golden Chick Custom Mold - teal (see detail)</i>		ea	5	
Potting soil			cu ft	7.5	
Crushed Rock - drainage rock for pots			cu ft	3	
Existing Plants					
Callery Pear	<i>Pyrus calleryana</i>	Tree	Yes	12" cal	2
Yaupon Holly	<i>Ilex vomitoria</i>	Small tree	Yes	4" cal	1

PLANT LIST

Site information			
Lot size	19,508 sf		
Landscape	1,063 sf	5%	
Patio	598 sf		
Building size	2835 sf		
Parking spaces	25		

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL PLANNING & ZONING
385 S. GOLIAD ST.
ROCKWALL, TEXAS 75087
972.771.7745
TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

Landscaping Requirements

CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE
ARTICLE VIII LANDSCAPE STANDARDS
NONCONFORMING SITE
STREET LANDSCAPING (133 LIN FT)
BUFFER STRIP ALONG PUBLIC STREET
REQUIRED: 10' WIDE PROVIDED: NONE
TREES - ONE LARGE TREE + 1 ORNAMENTAL TREE PER 50 LIN FT
REQUIRED: 2.5 LARGE TREES
PROVIDED: NONE - OVER HEAD WIRES & NO SPACE FOR PLANTING TREES
A. PLANTING SCREEN FOR PARKING HEADLIGHTS
PROVIDED: SHRUB ROW
REQUIRED LANDSCAPING
COMMERCIAL
REQUIRED: 20%
PROVIDED: 7.5%
LANDSCAPE CREDITS
RIGHT OF WAY LANDSCAPING + 2.5%
PARKING LOT SCREENING + 2.5%
XERISCAPING + 2.5%
LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
EXISTING IRRIGATION SYSTEM TO BE VERIFIED THAT THE EXISTING SYSTEM IS INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



Owner & Professionals Information

OWNER/DEVELOPER
ROLANDO R. LEAL O' GOOD LUCK, LLC ON BEHALF OF:
CHARLES CORSON O' COP L S ROCKWALL LP
120 ELDORADO AVE., DALLAS, TX 75201
TEL: 112 1111102
ARCHITECT
MLA - MICHAEL LEGG ARCHITECT
26116 HIGH TIMBER PASS
SAN ANTONIO, TEXAS 78260
ATTN: MICHAEL LEGG, 210-416-4935
LANDSCAPE ARCHITECT
FELDMAN DESIGN STUDIOS
P.O. BOX 823346, RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972-523-4944
CAROL@FELDMANDESIGN.COM

SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the

.....
Planning & Zoning Commission, Chairman Director of Planning and Zoning

FELDMAN DESIGN STUDIOS
 P.O. Box 852546 Richardson, Texas 75083
 Mobile: 972 523-4944
 carol@feldmandesign.com

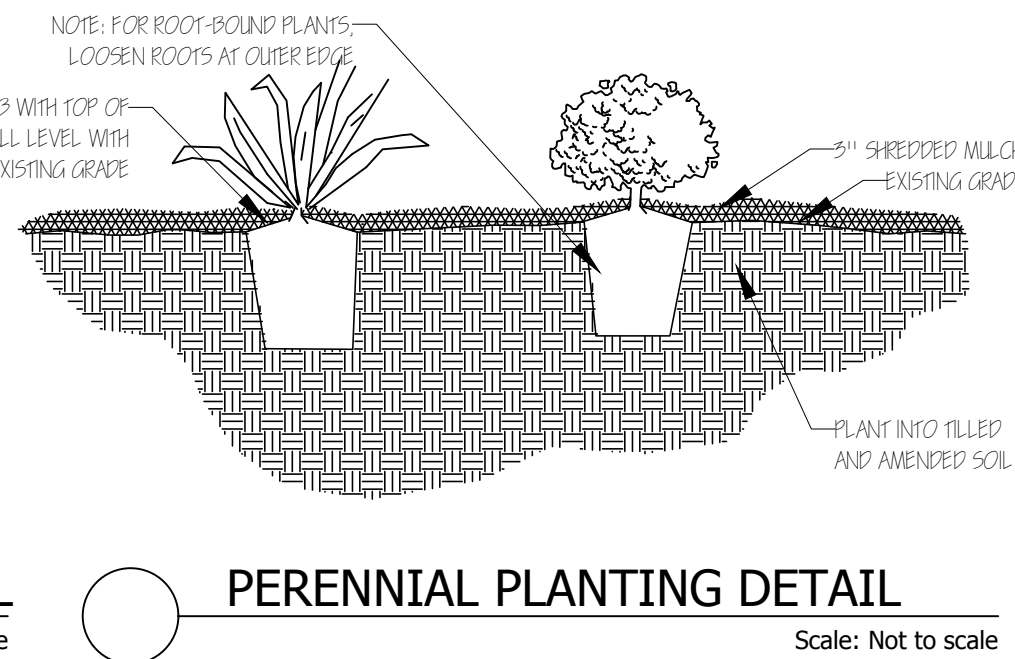
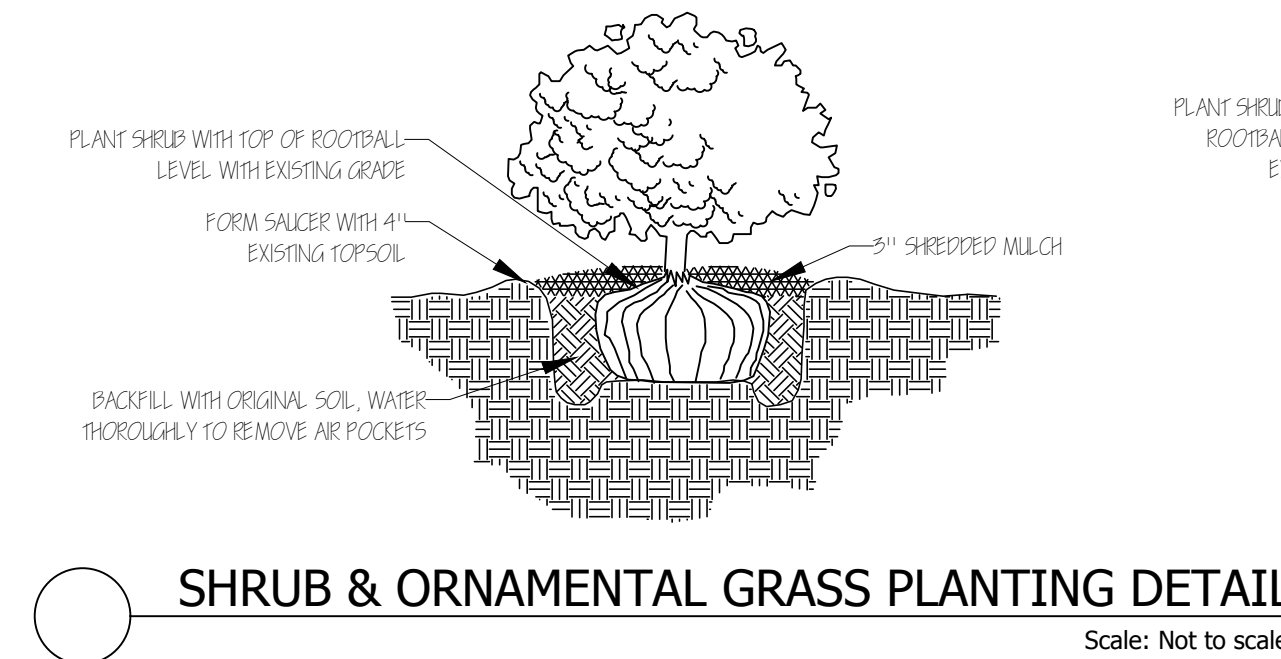
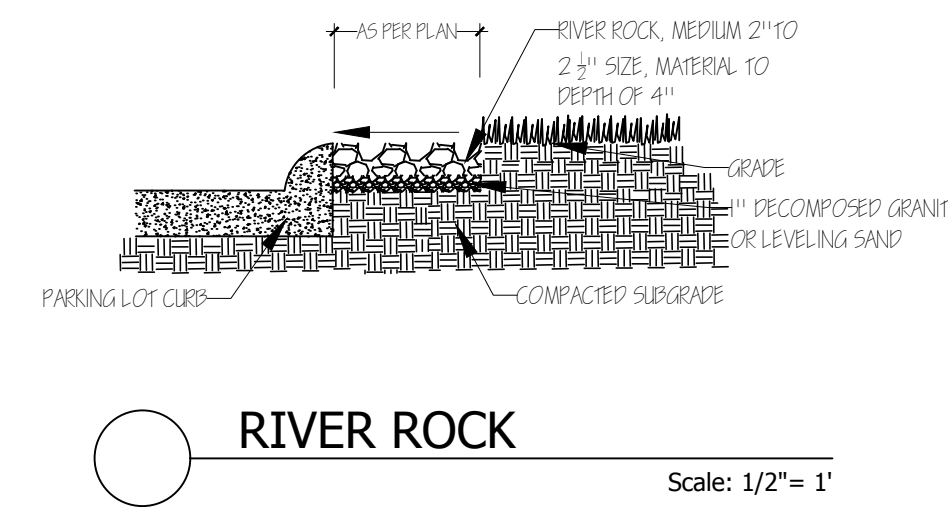
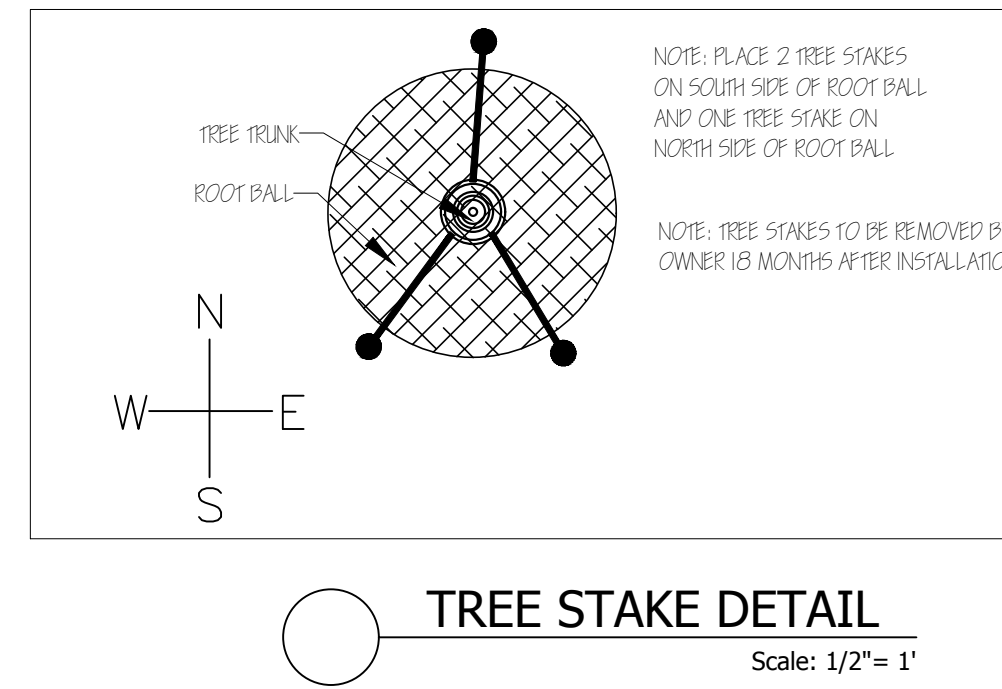
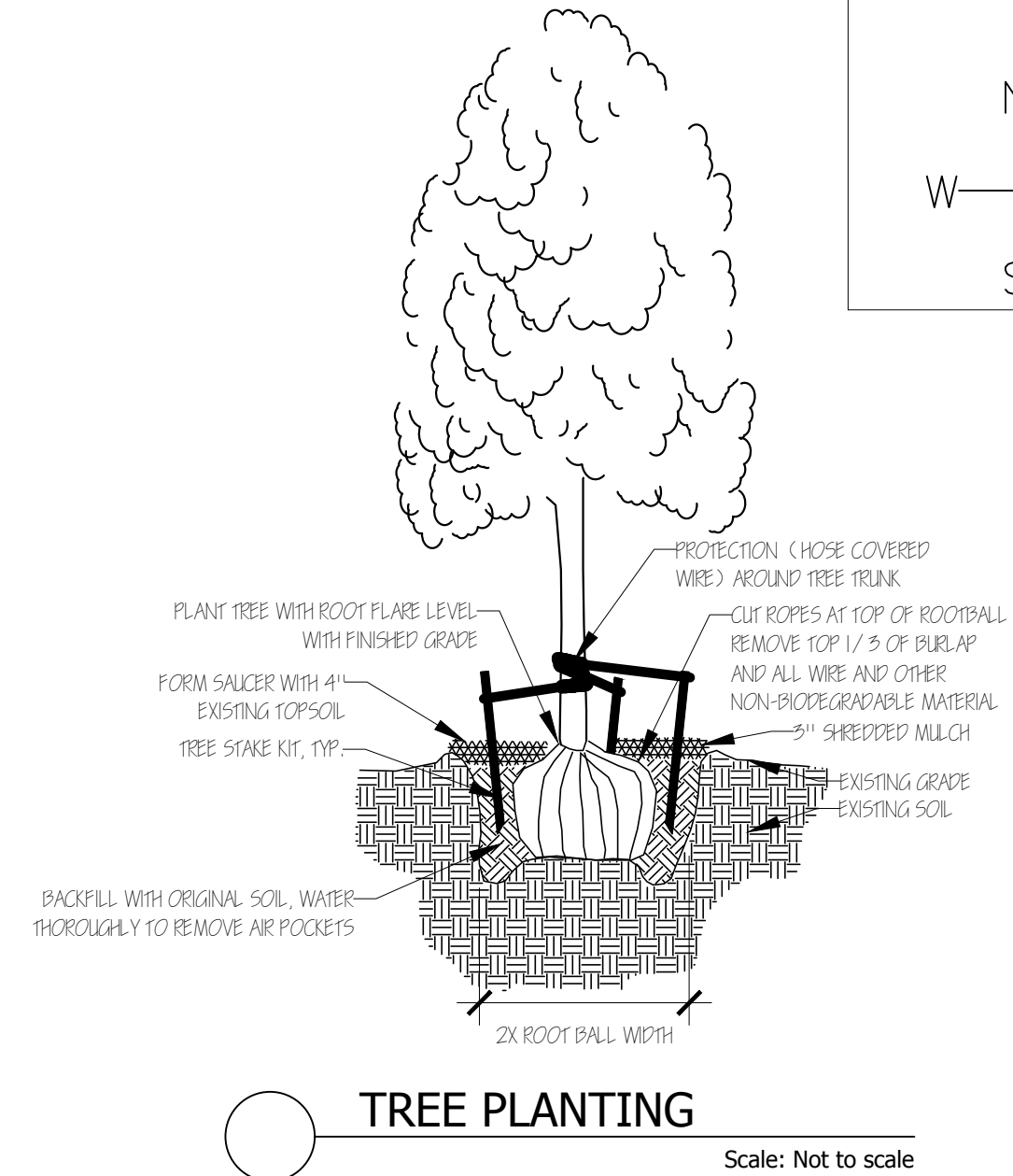
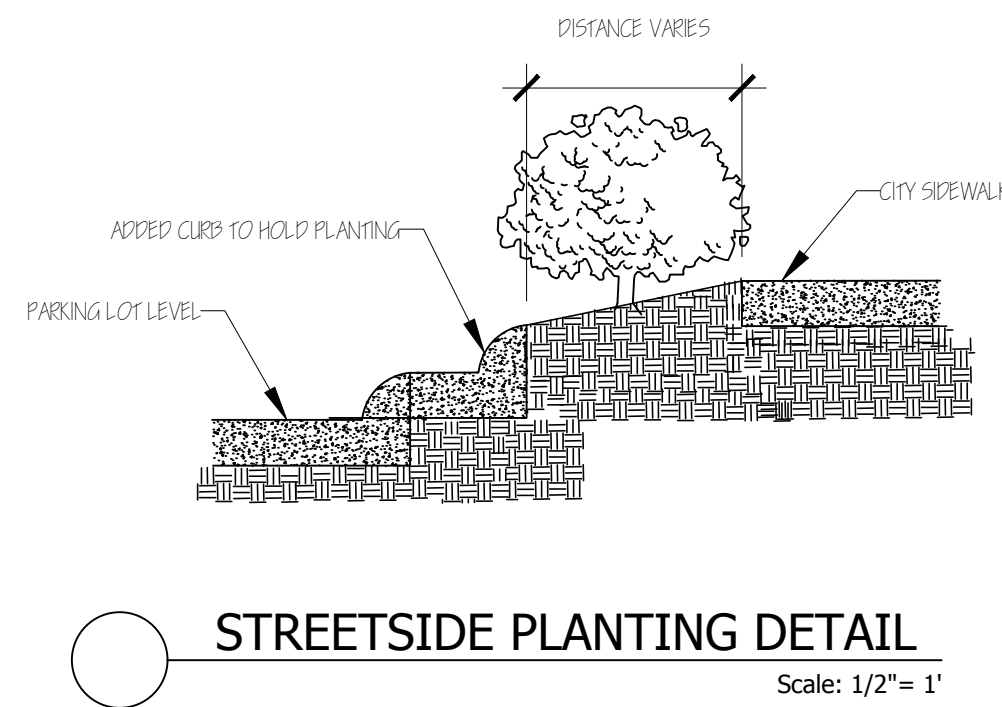
NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	2/10/21
2.	REVISED PER COMMENTS	3/3/21
3.		
4.		
5.		
6.		
7.		

Carol Feldman

These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

GOLDEN CHICK RESAURANT
 2608 RIDGE ROAD
 ROCKWALL, TEXAS

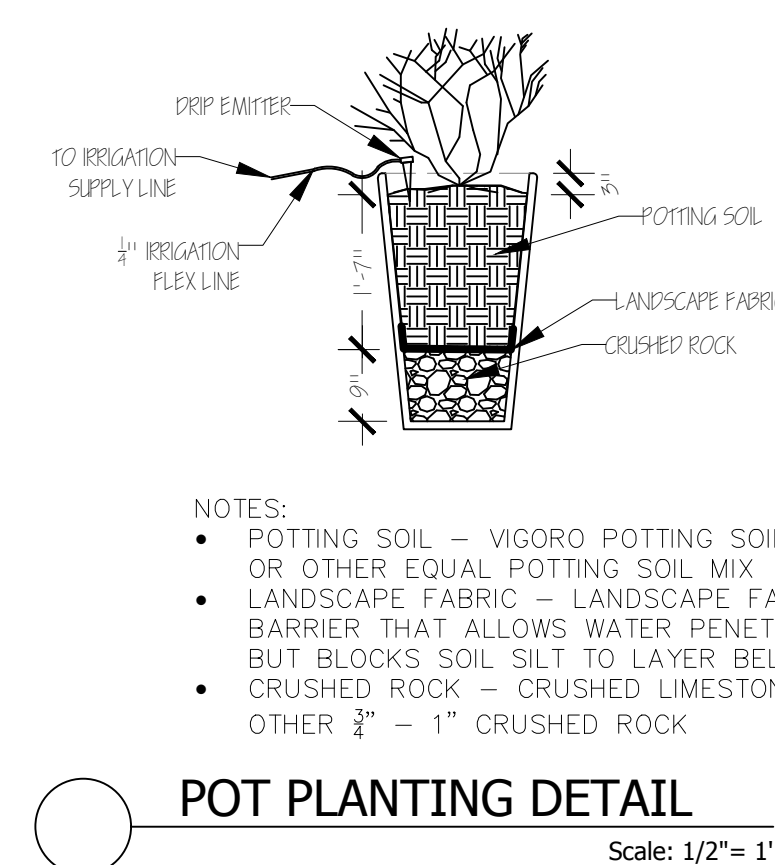
SHEET NO.
L1.01



SECTION 02910 – SOIL PREPARATION
PART 1 – GENERAL
A. DESCRIPTION
 1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
B. EXAMINATION
 1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
 2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED PREPARATION WORK.
C. APPROVALS
 1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
PART 2 – PRODUCTS
A. MATERIALS
 1. COMPOST:
 1.1. COTTON BUR COMPOST
 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX. OR CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
 2. FERTILIZERS AND SUPPLEMENTS:
 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
 3. MULCH
 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.
PART 3 – EXECUTION
A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
 1. GENERAL
 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS:
 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
 3. SOD AND SEED AREAS
 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.
END OF SECTION 02910
NOTES
GENERAL LANDSCAPE
 1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
 3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT, FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
 4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL.)
 5. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 – LANDSCAPE PLANTING
PART 1 – GENERAL
A. SPECIAL CONDITIONS
 1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK.
 3. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
 3.1. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
 4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
B. REFERENCE STANDARDS
 1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 2014 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
 3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
C. PREPARATION
 4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
 5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
 6. COORDINATION WITH IRRIGATION SYSTEM:
 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES.
 1. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
 2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
 3. THE 'ROOT FLARE' OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.
E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
 1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
 2. DO NOT USE ANY TYPE OF PRUNING PAINT ON WOUNDS.
 3. DO NOT USE ANY TYPE OF TREE WRAP, EXCEPT, TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
 4. STAKE AND GUY ANY TREES AS PER DETAIL. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUYS AFTER TREES HAVE BEEN IN THE GROUND 6 MONTHS, AND BEFORE THE ONE YEAR ANNIVERSARY OF PLANTING.
 5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.
F. WARRANTY
 1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHERWISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
 2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL FOR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

PART 3 – EXECUTION
A. PREPARATION FOR PLANT MATERIAL INSTALLATION
 1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
B. TIME OF PLANTING
 1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
C. TREE PLANTING
 1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
 2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
 3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
 4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
 5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
 6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
 7. COVER ALL TREE BALLS WITH A MINIMUM OF 3 OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
 8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING.
 1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
 2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE 'POT-BOUND' PRIOR TO INSTALLATION.
 3. COVER PLANTING BEDS WITH A MINIMUM 3 LAYER OF SPECIFIED MULCH.
E. SOD PLANTING
 1. LAY SOD IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
 2. WATER ALL AREAS OF THE SOD UNTIL THOROUGHLY WET.
 3. ROLL SOD WITH A SOD ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOD TO OBTAIN A UNIFORM, SMOOTH FINISH.
 4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
 5. KEEP SOD ADEQUATELY WATERED UNTIL SOD MAKES A FIRM CONNECTION TO THE SOIL.
F. SEED PLANTING
 1. AREAS SHALL BE RAKED TO A DEPTH OF 1/2", SMOOTH AND FREE OF STONES AND DEBRIS.
 2. APPLY SEED EVENLY AT THE RATE RECOMMENDED.
 3. RAKE AND WATER TO ESTABLISH A FIRM CONNECTION OF THE SEED TO THE SOIL.
 4. KEEP SEED AREA MOIST (NOT WET) UNTIL SEED GERMINATES AND GRASS IS APPROX. 1/2" IN HEIGHT.
 5. KEEP AREA ADEQUATELY WATERED UNTIL A STAND OF THE GRASS IS ESTABLISHED.
 6. RE-SEED TO ESTABLISH A THICK STAND OF GRASS IF NECESSARY.
END OF SECTION 02915



POT PLANTING DETAIL
 Scale: 1/2" = 1'



CERAMIC POTS & SAUCERS
 Not to Scale
 GOLDEN CHICK CUSTOM MOLD RIPPLE POT
 32" TALL X 20" DIAMETER - TEAL COLOR
 15" DIAMETER SAUCER (NOT SHOWN)
 AVAILABLE BY CONTACTING CORPORATE
 GOLDEN CHICK, RICHARDSON

SITE PLAN SIGNATURE BLOCK APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the

.....
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

FELDMAN DESIGN STUDIOS
 P.O. Box 852546, Richardson, Texas 75085
 Office: 972.980.1750 Mobile: 972.525.4944
 carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	2/10/21
2.	REVISED PER COMMENTS	3/3/21
3.		
4.		
5.		
6.		
7.		

STATE OF TEXAS
CAROL FELDMAN
 2080
 REGISTERED ARCHITECT

These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

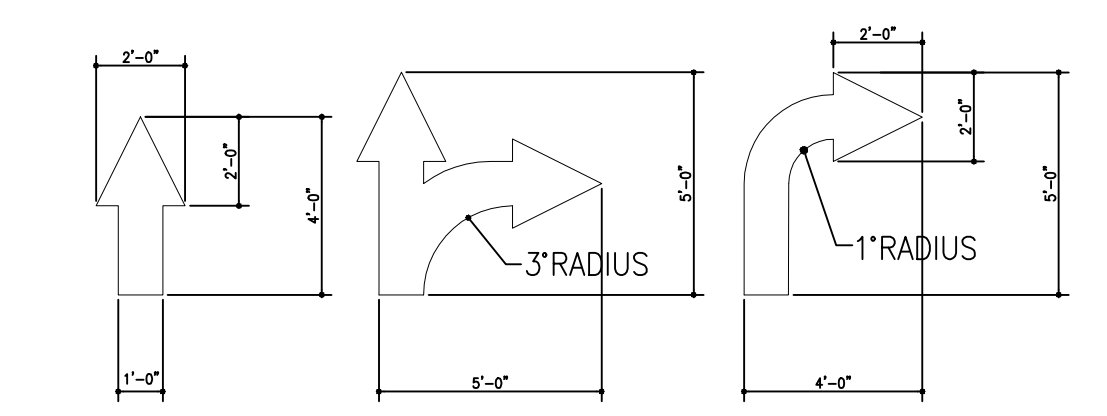
GOLDEN CHICK RESTAURANT
 2608 RIDGE ROAD
 ROCKWALL, TEXAS

GOLDEN CHICK

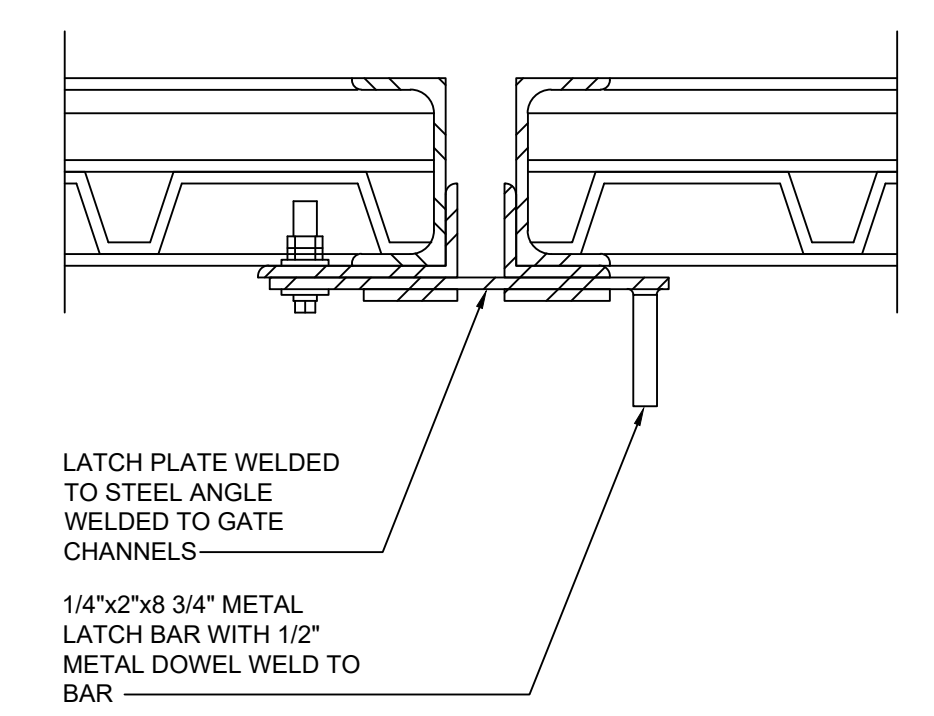
SHEET NO.
L1.02



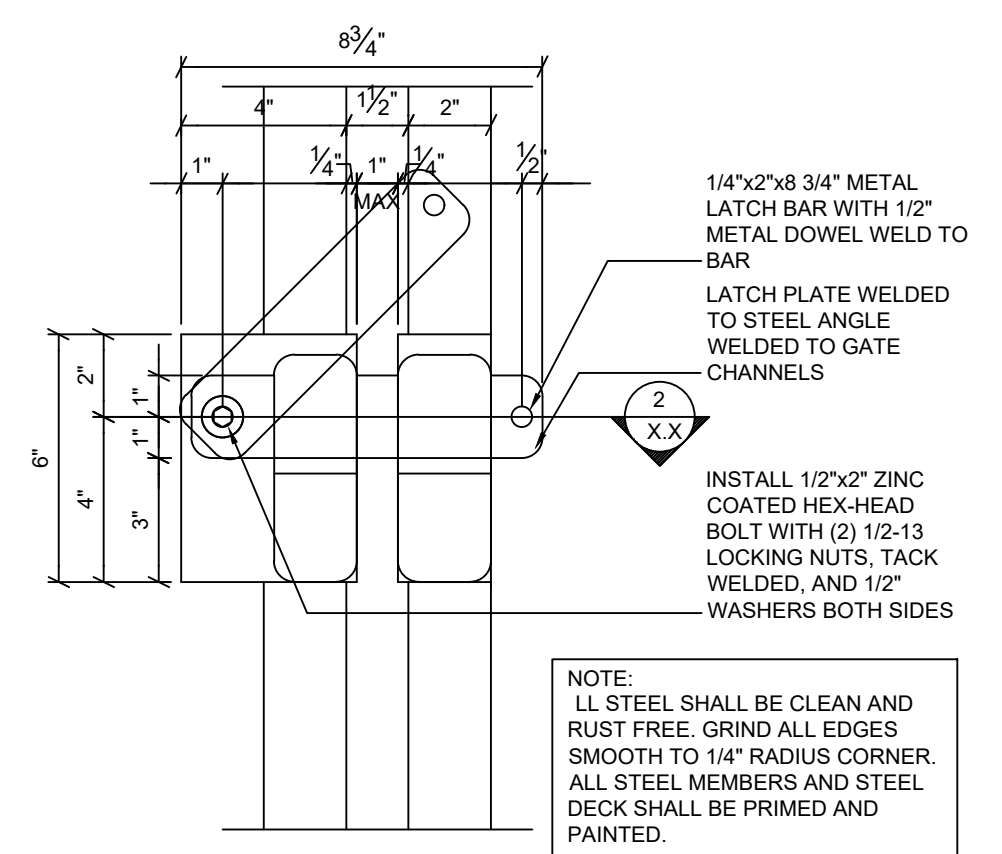
DRAWING COORDINATION
 Architectural, Landscape, Civil,
 Structural, Mechanical and
 Electrical drawings are interrelated.
 General Contractor and all Sub
 Contractors shall review and
 coordinate the entire set of
 drawings and specifications



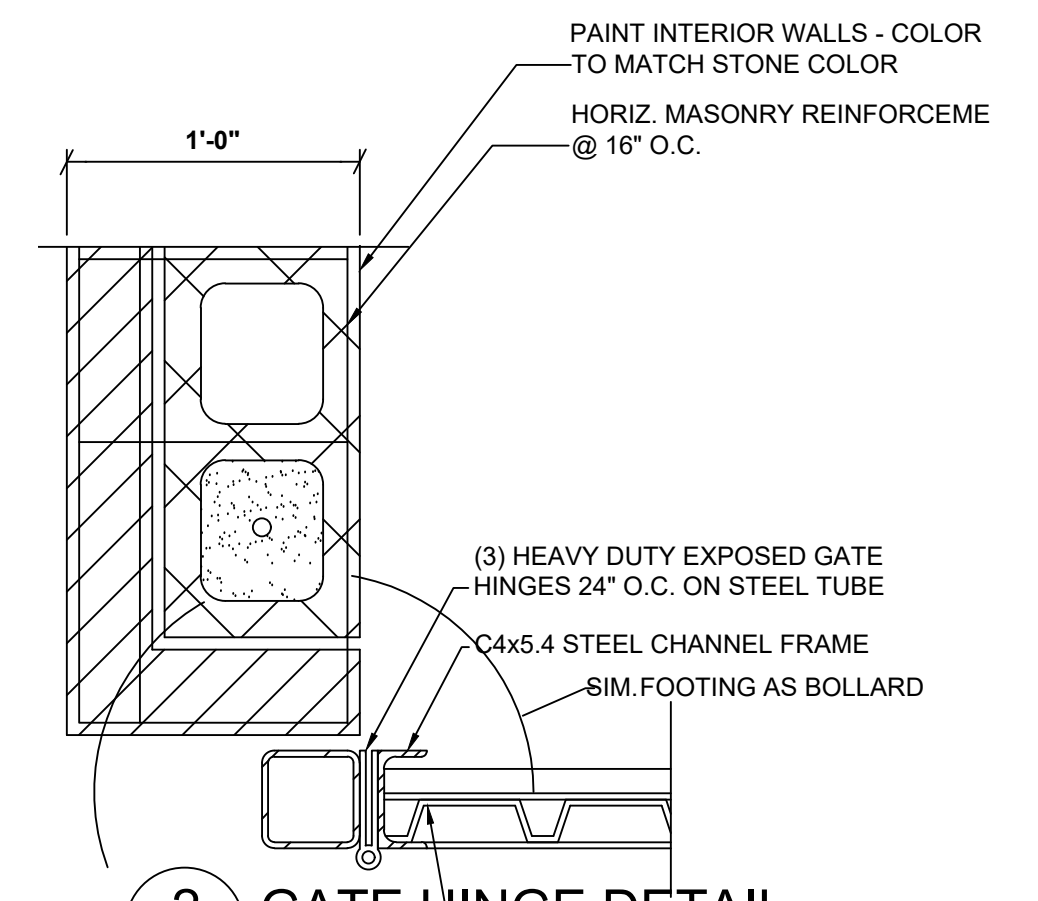
11 E - DIRECTIONAL ARROW DETAILS
PAVING DIRECTION ARROWS
 SCALE: NONE



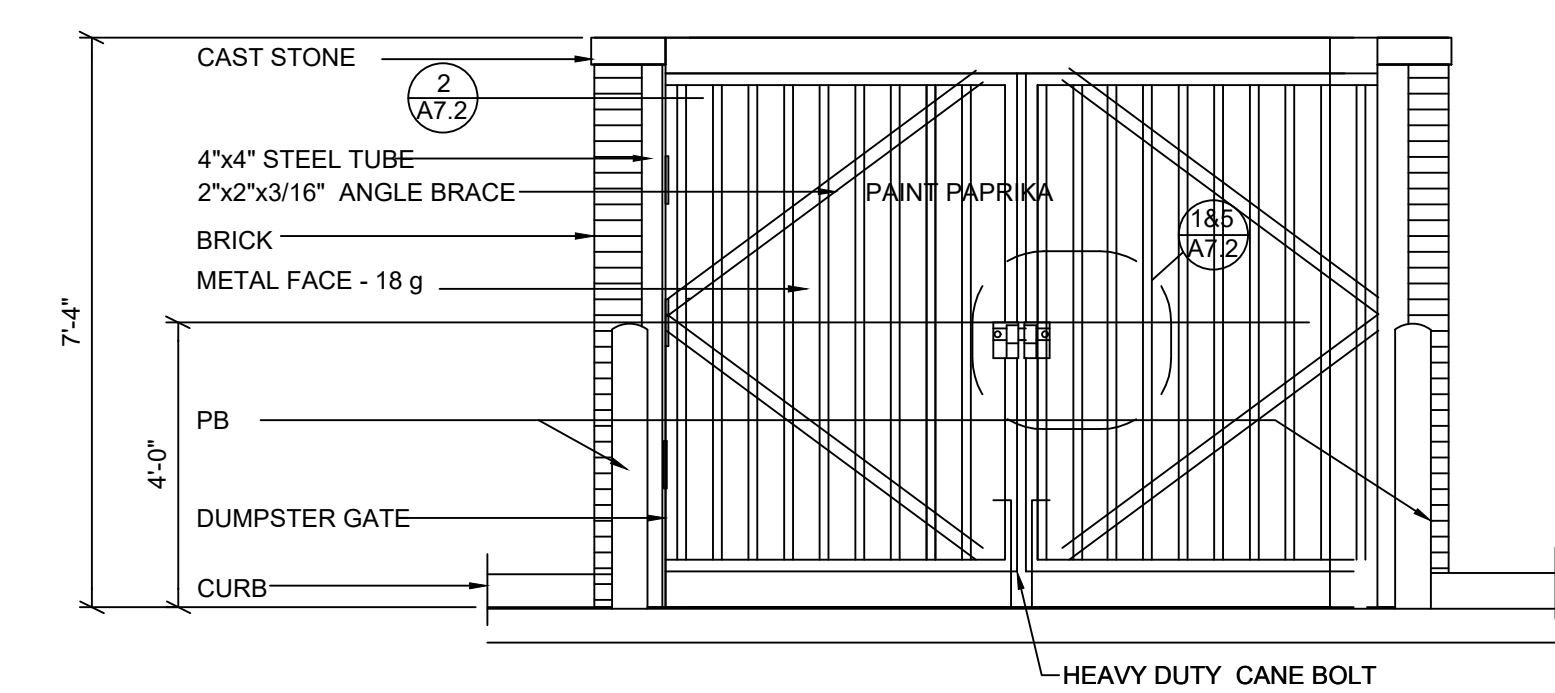
5 GATE LATCH DETAIL
 SCALE: 3/8" = 1'-0"



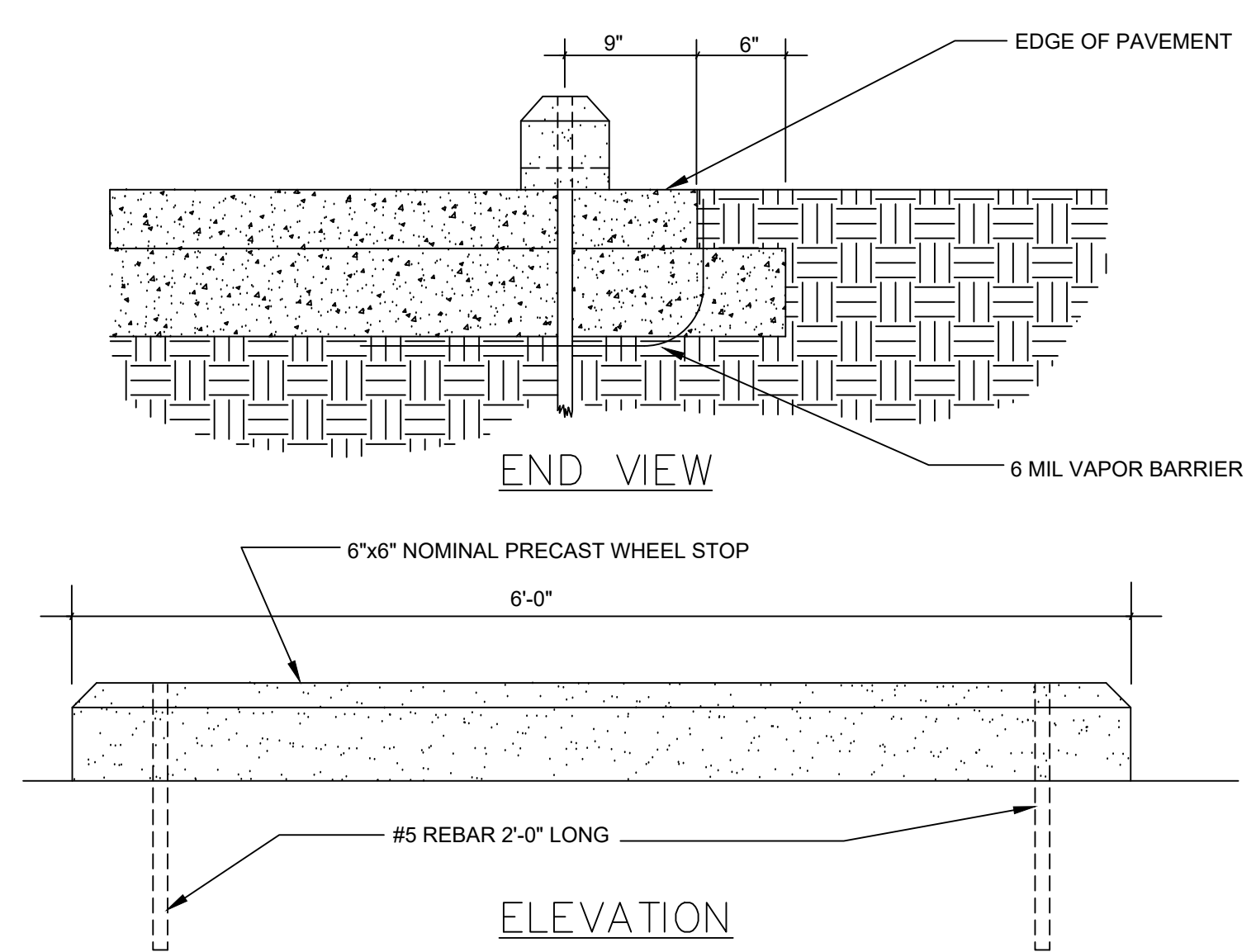
1 GATE LATCH DETAIL
 SCALE: 3/8" = 1'-0"



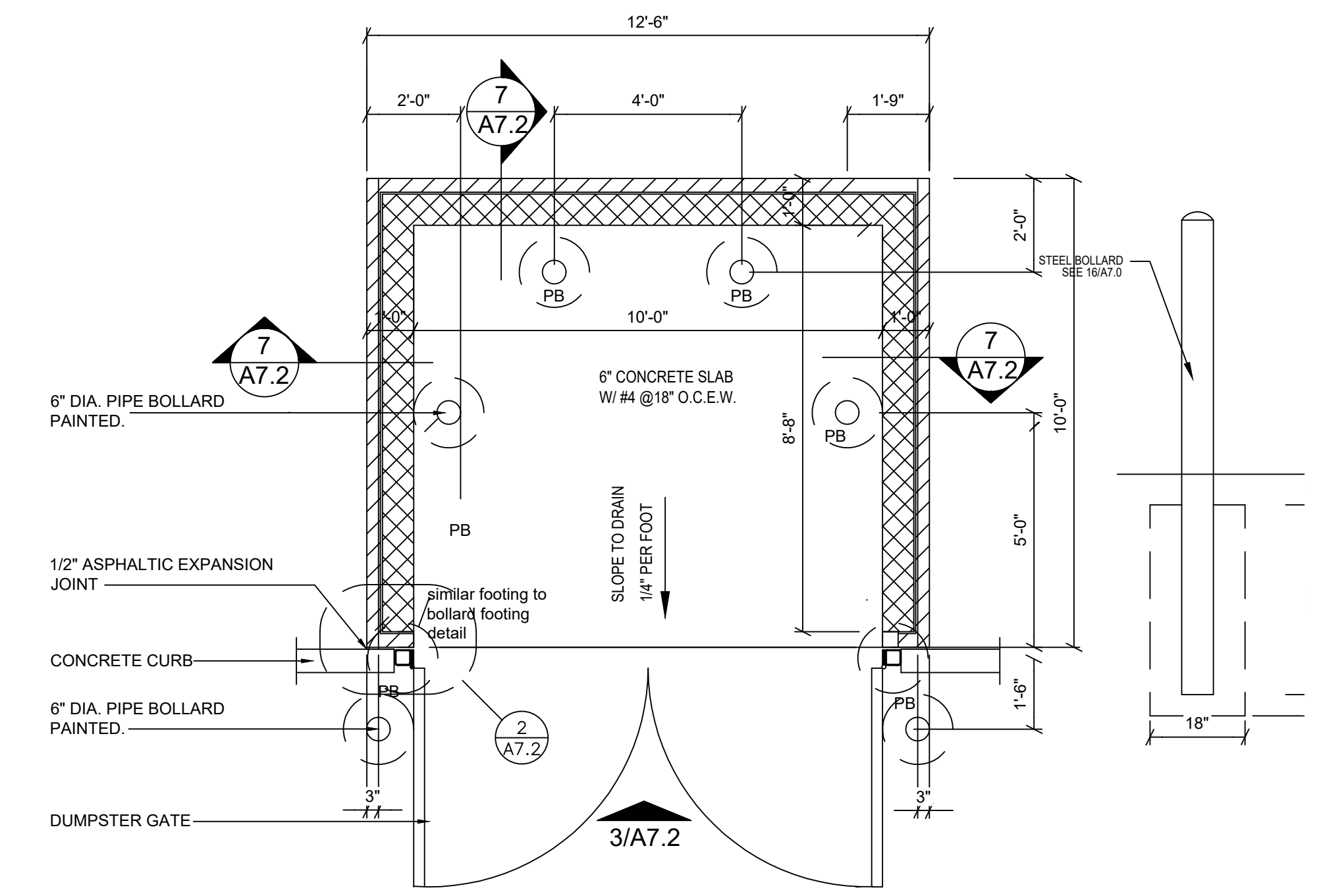
2 GATE HINGE DETAIL
 SCALE: 3/8" = 1'-0"



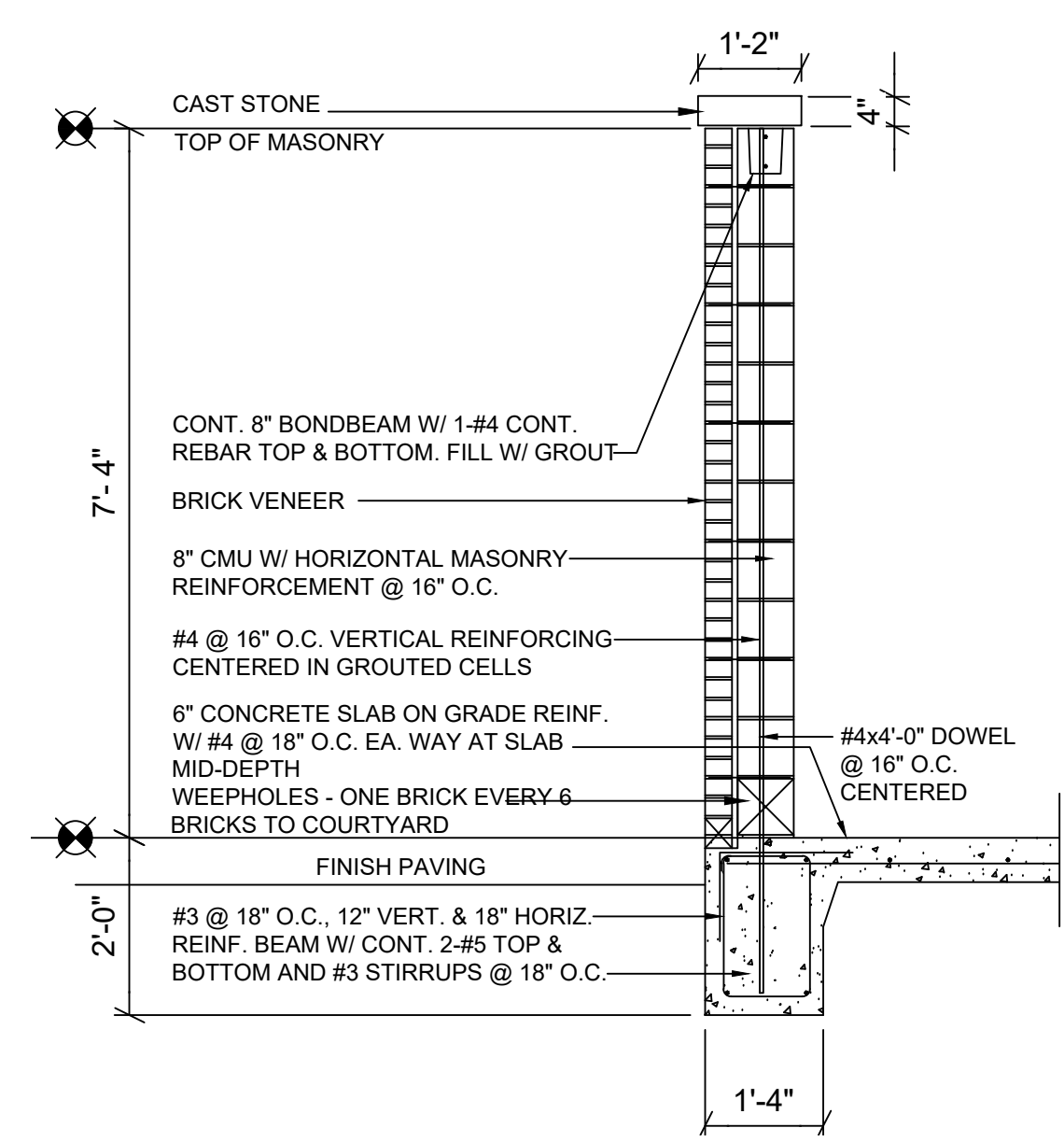
3 DUMPSTER ELEVATION
 SCALE: 3/8" = 1'-0"



10 PARKING BARRIER
 SCALE: NONE



6 DUMPSTER- PLAN
 SCALE: 3/8" = 1'-0"



7 DUMPSTER & COURTYARD SCREEN WALL SECTION
 SCALE: 1/2" = 1'-0"

DETAILS
GOLDEN CHICK
RESTAURANT REMODEL
 2608 Ridge Road,
 Rockwall TX

REV	DESCRIPTION	DATE

SCALE:
 AS NOTED
 PROJECT NO.
 02-10-21
 SHEET NO.
A7.2

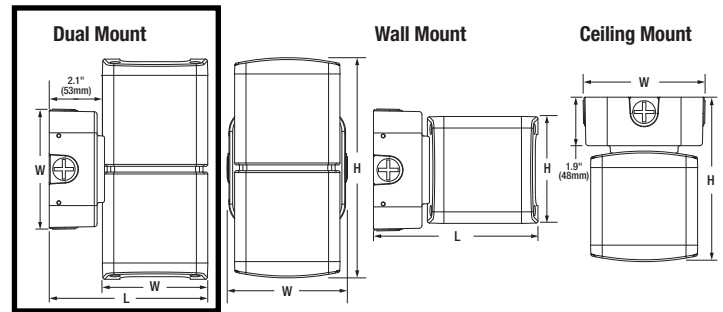
SYLVANIA Luminaires

Square Light



Catalog #	Type
Project	
Notes	
Date	
Prepared by	

Dimensions



	L	W	H
Dual Mount	6.4" (162mm)	4.9" (124mm)	9" (228mm)
Wall Mount	6.4" (162mm)	4.9" (124mm)	4.9" (124mm)
Ceiling Mount	4.9" (124mm)	4.9" (124mm)	6.9" (175mm)
Pendant Mount	4.9" (124mm)	4.9" (124mm)	46" (1168mm)

Product Features

The Square Light luminaires are environmentally preferable LED alternatives to traditional luminaires, offering up to 91% in energy savings. Ideal in place of traditional luminaires, or as new installations, the Square Light series is offered with four mounting options for illuminating building exteriors, outdoor corridors, canopies, and stairwells.

The luminaire allows for easy installation. SYLVANIA luminaires assure optimum light engine performance for extended service and rated life ($\geq 150,000$ hours L_{70}).

Wattage Comparison Chart

Traditional Source	Traditional System Wattage	LED System Wattage	Energy Savings
23W CFL	23	13	43%
42W CFL	46	13	72%
100W Inc	100	13	87%
150W Inc	50	13	91%
35W HPS	45	13	71%
50W HPS	62	13	79%
150W Inc	150	26	83%
50W HPS	62	26	58%
70W HPS	91	26	71%

Specifications

Weight: WM: 4.4 lbs (2kg) DM: 7.1 lbs (3.2kg)
 CM: 4.6 lbs (2.1kg) PM: 5.1 lbs (2.3kg)

Construction: Die Cast aluminum housing with powder coat paint. The standard color is bronze.

LED System: LED system with a life rating of $>150,000$ hours at L_{70} @ 25°C . Luminaire efficacy up to 109 LPW.

Electrical: Offered in 13 or 26 watts, the luminaire is designed to operate through the 120-277 Vac universal voltage range. The LED driver is a constant current device. The power factor is $\geq 90\%$ and THD is $\leq 20\%$.

Color Characteristics: CRI >70 ; CCT of 4000K or 5000K.

Optics: UV resistant tempered glass lens.

Installation: Luminaire can be pendant mounted (PM), wall mounted (WM/DM), or ceiling mounted (CM). Please note mounting in ordering guide.

Operating Temperature: -40°F to $+104^{\circ}\text{F}$ (-40°C to $+40^{\circ}\text{C}$).

Listings: cULus listed to UL1598 rated for wet locations.

Warranty: Standard 5-year luminaire warranty (LEDLUM002).

Note: Specifications subject to change without notice. IES files available online.



*See page 2 for DLC listings

Ordering Guide

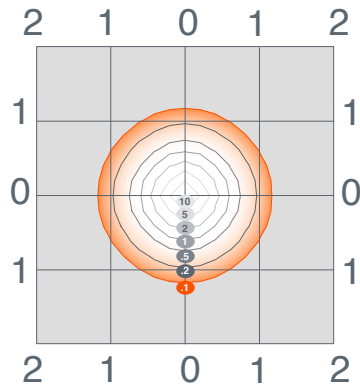
Item Number:

<input type="text"/>	<input type="text"/>	/	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	/	<input type="text"/>	/	<input type="text"/>
SQLIGHT	1A		XX	UNV	7	XX		XX		BZ
Product Name	Generation		Wattage (UNV)	Voltage	CRI	Color Temp (CCT)		Mounting		Color/Finish
SQLIGHT	1A		013 = 13W 026 = 26W	UNV = 120-277V	7 = >70	40 = 4000K 50 = 5000K		CM = Ceiling Mount DM = Dual Wall Mount PM = Pendant Mount WM = Wall Mount		BZ = Bronze

Photometric Data

SQLIGHT1A/013UNV740/WM/BZ

Isofootcandle Lines at 15' Mounting Height



For other mounting heights apply the following multipliers:

Mounting Height	10'	12'	15'	18'	20'
Multiplier	2.25	1.56	1.00	0.69	0.56

Ordering Information

Item Number	Ordering Abbreviation	Power (W)	Input Voltage	CRI	Color Temp		LPW*	Mounting	Distribution	BUG	
					(CCT)	Lumens				Rating	DLC**
60208	SQLIGHT1A/013UNV740/WM/BZ	13	120-277	>70	4000K	1390	109	Wall Mount	Type V S	B2-U1-G0	Std
60209	SQLIGHT1A/013UNV750/WM/BZ	13	120-277	>70	5000K	1390	109	Wall Mount	Type V S	B2-U1-G0	Std
60210	SQLIGHT1A/026UNV740/DM/BZ	26	120-277	>70	4000K	2750	105	Dual Direction/Wall Mount	Type V S	B1-U4-G3	-
60211	SQLIGHT1A/026UNV750/DM/BZ	26	120-277	>70	5000K	2750	105	Dual Direction/Wall Mount	Type V S	B1-U4-G3	-
60212	SQLIGHT1A/013UNV740/CM/BZ	13	120-277	>70	4000K	1390	109	Ceiling Mount	Type V S	B2-U1-G0	Std
60213	SQLIGHT1A/013UNV750/CM/BZ	13	120-277	>70	5000K	1390	109	Ceiling Mount	Type V S	B2-U1-G0	Std
60214	SQLIGHT1A/013UNV740/PM/BZ	13	120-277	>70	4000K	1390	109	Pendant Mount	Type V S	B2-U1-G0	Std
60215	SQLIGHT1A/013UNV750/PM/BZ	13	120-277	>70	5000K	1390	109	Pendant Mount	Type V S	B2-U1-G0	Std

*LPW per LM79 report

**Std for DLC Standard

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